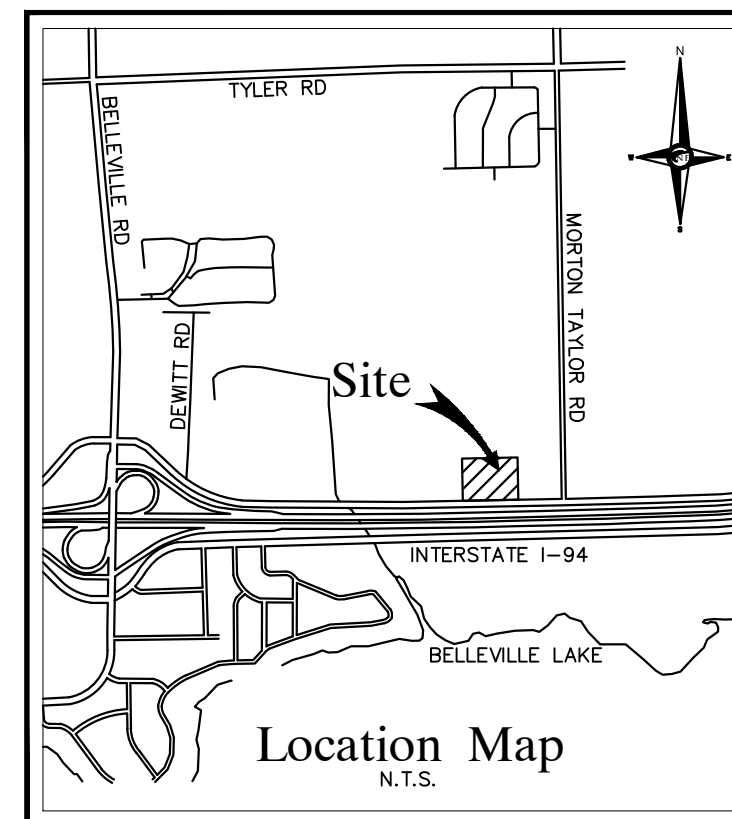


No. 11000 MORTON TAYLOR RD.
Owner: BLEVINS JOHN/BLEVINS RUTH
APN: 83-060-99-0014-000

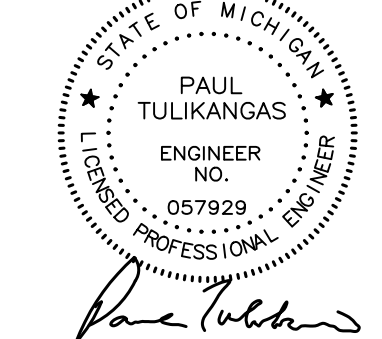


NOWAK & FRAUS ENGINEERS

CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM

SEAL
NOT FOR CONSTRUCTION



PROJECT
Camping World - Belleville

CLIENT

Camping World
43646 N. Inerstate 94
Service Drive

CONTACT
Derrick Matter, Director of
Construction & Facilities

250 Parkway Dr, Suite 270
Lincolnshire, Illinois 60069

Phone: (847) 229-6429

Email:
Derrick.Matter@Ganderoutdoors.com

PROJECT LOCATION

Part of the Southeast 1/4
of Section 15
Town 3 South, Range 8 East
Van Buren Twp,
Wayne County, Michigan

SHEET

Overall Site Plan
(Without Grading &
Utility Details)



DATE ISSUED/REVISED
05-29-2020 REVISED FOR SITE PLAN APPROVAL

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Owner / Developer

CAMPING WORLD
43646 N. INTERSTATE 94
SERVICE DRIVE

CONTACT
DERRICK MATTER
PHONE: (847) 229-6429
EMIAL: DERRICKMATTER@GANDEROUTDOORS.COM

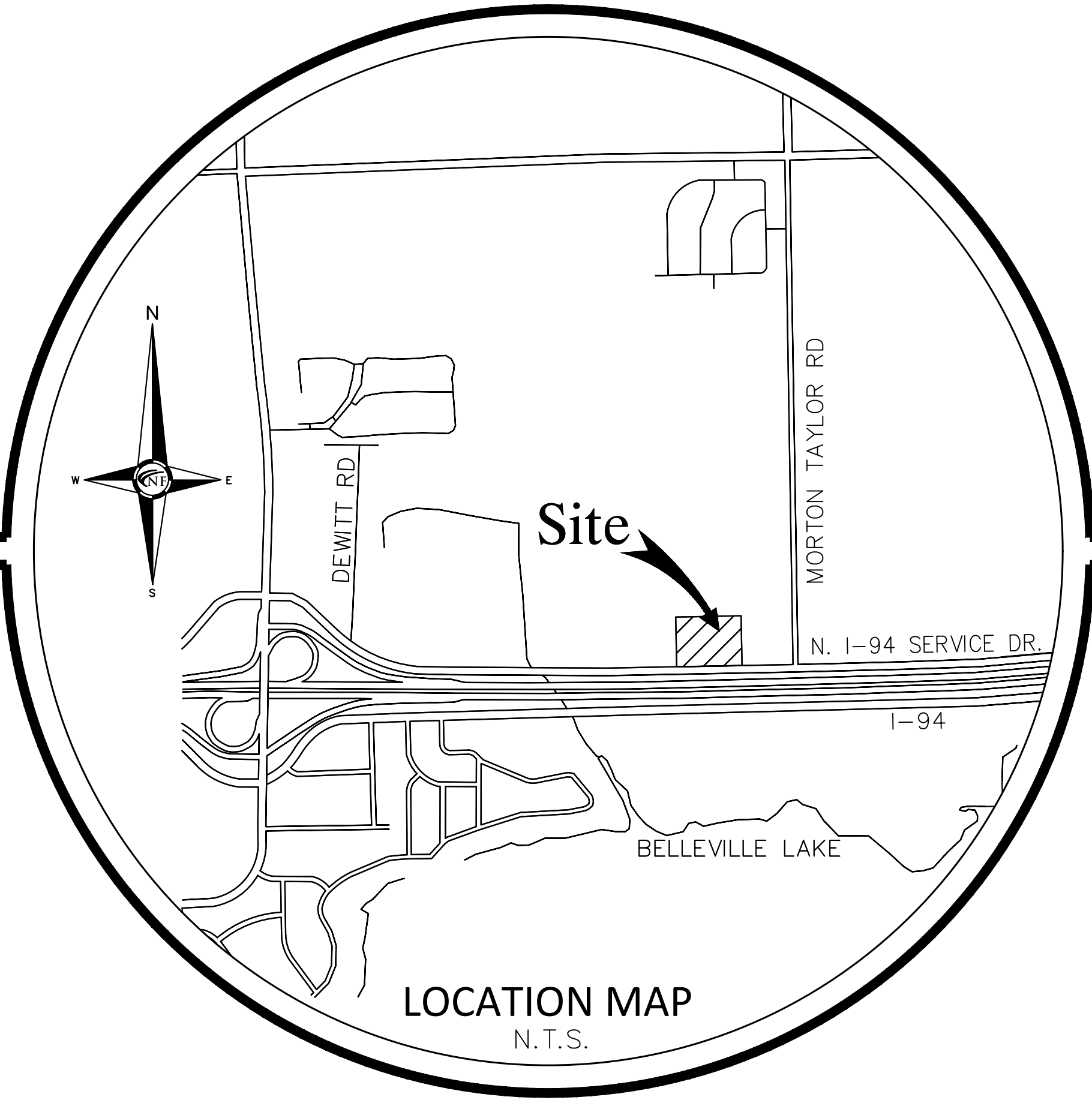
Civil Engineer

NOWAK & FRAUS ENGINEERS
46777 Woodward Ave.
Pontiac, MI 48342-5032
Tel. (248) 332-7931
Fax. (248) 332-8257

CONTACT:
PRINCIPAL: BRETT BUCHHOLZ, P.E.
EMIAL: BBUCHHOLZ@NFE-ENGR.COM
PROJECT MANAGER: PAUL TULIKANGAS, P.E.
EMAIL: PTULIKANGAS@NFE-ENGR.COM
Tel. (248) 332-7931
Fax. (248) 332-8257

Charter Township of Van Buren,
Wayne County, Michigan
SITE PLAN DRAWINGS
Prepared For
CAMPING WORLD

PART OF THE SOUTHEAST 1/4 OF SECTION 15,
TOWNSHIP OF VAN BUREN,
WAYNE COUNTY, MICHIGAN



LEGAL DESCRIPTION

LEGAL DESCRIPTION PER ALTA/ACSM LAND TITLE SURVEY BY GEODETIC DESIGNS, INC DATED NOVEMBER 29, 2011.

REAL PROPERTY IN THE TOWNSHIP OF VAN BUREN, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:
PART OF LOTS 1 TO 10, SEYMOUR AND TROESTER'S SPEEDWAY SUBDIVISION, AS RECORDED IN LIBER 70, PAGE 78 OF
PLATS AND PAR OF SOUTHEAST 1/4 SECTION 15, VAN BUREN TOWNSHIP, TOWN 3 SOUTH, RANGE 8 EAST DESCRIBED AS:
COMMENCING AT THE SOUTHEAST CORNER OF SECTION 15, TOWN 3 SOUTH, RANGE 8 EAST, VAN BUREN TOWNSHIP, WAYNE
COUNTY, MICHIGAN; THENCE NORTH 03 DEGREES 36 MINUTES 10 SECONDS WEST 374.01 FEET ALONG THE EAST LINE OF
SAID SECTION 15 AND ALONG THE CENTERLINE OF MORTON-TAYLOR ROAD AND ITS SOUTHERLY EXTENSION; THENCE SOUTH
85 DEGREES 51 MINUTES 50 SECONDS WEST 540.61 FEET ALONG A LINE PARALLEL WITH AND 226.00 FEET NORTHERLY OF
THE NEW CONSTRUCTION LINE OF I-94 FREEWAY TO THE PLACE OF BEGINNING; THENCE CONTINUING SOUTH 85 DEGREES
51 MINUTES 50 SECONDS WEST ALONG SAID PARALLEL LINE 132.23 FEET; THENCE WESTERLY 650.76 FEET ALONG SAID
PARALLEL LINE AND ALONG THE ARC OF A 57069.78 FOOT RADIUS CURVE TO THE RIGHT WITH CHORD SOUTH 86 DEGREES
11 MINUTES 26 SECONDS WEST 650.76 FEET TO A POINT IN THE WEST LINE OF SEYMOUR AND TROESTER'S SPEEDWAY
SUBDIVISION, RECORDED IN LIBER 70 OF PLATS, PAGE 78 THEREOF; THENCE NORTH 03 DEGREES 45 MINUTES 15 SECONDS
WEST 482.21 FEET ALONG THE WEST LINE OF SAID SUBDIVISION AND ITS NORTHERLY PROLONGATION THEREOF; THENCE
NORTH 86 DEGREES 23 MINUTES 50 SECONDS EAST 776.49 FEET; THENCE SOUTH 04 DEGREES 30 MINUTES 53 SECONDS
EAST 488.69 FEET TOT HE PLACE OF BEGINNING.

THE PROPERTY DESCRIBED AND SHOWN HEREON IS THE SAME PROPERTY AS DESCRIBED IN FIRST AMERICAN TITLE
INSURANCE COMPANY COMMITMENT NUMBER NCS-517457M1--ORL, DATED NOVEMBER 23, 2011.

WAYNE COUNTY DPS GENERAL NOTES:

1. ALL WORK WITHIN THE WAYNE COUNTY ROAD RIGHT-OF-WAY (ROW) AND DRAIN EASEMENT SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND GENERAL SPECIFICATIONS INCLUDING SOIL EROSION AND SEDIMENTATION CONTROL OF THE WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES, AND MDOT 2012 SPECIFICATIONS FOR CONSTRUCTION.
2. THESE PLANS ARE NOT VALID WITHOUT ATTACHMENT OF THE WAYNE COUNTY PERMIT SPECIFICATIONS FOR CONSTRUCTION WITHIN THE ROAD ROW, PARKS, DRAIN EASEMENT OR SANITARY SEWER UNDER JURISDICTION OF THE WAYNE COUNTY (07/01/93) REVISED 12/15/2004
3. CONTRACTOR SHALL CONTACT MISS.DIG.AT.811 TO IDENTIFY AND FLAG/MARK THE LOCATIONS OF ALL UNDERGROUND UTILITIES AT THE PROPOSED CONSTRUCTION AREAS PRIOR TO START OF CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES, AND RESOLVE ANY CONFLICT BETWEEN THE PROPOSED WORK AND THE EXISTING UNDERGROUND OR ABOVEGROUND UTILITIES.
4. CONTRACTOR SHALL MAINTAIN 18" MINIMUM VERTICAL CLEARANCE AND 3 FEET MINIMUM HORIZONTAL CLEARANCE BETWEEN THE PROPOSED AND EXISTING UTILITIES. ANY PROPOSED UTILITY PERMITTED TO CROSS UNDER THE ROAD OR DRAIN, MUST BE PLACED A MINIMUM OF 7 FEET BELOW THE LOWEST POINT OF THE ROAD, OR 6 FEET BELOW THE DRAIN BOTTOM. OVERHEAD WRES/CABLES MUST BE INSTALLED 18 FEET MINIMUM ABOVE THE ROAD CENTERLINE. TO RELOCATE ANY UTILITY WITHIN THE ROAD ROW, THE CONTRACTOR SHALL COORDINATE THE RELOCATION WITH THE UTILITY COMPANY AND AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
5. ALL SURVEY MONUMENTS / CORNERS, AND BENCH MARKS LOCATED WITHIN THE CONSTRUCTION AREA MUST BE PRESERVED IN ACCORDANCE WITH PUBLIC ACT 74 AS AMENDED (INCLUDING ACT 34, P.A.2000) AND AS PER WAYNE COUNTY PERMIT RULE 1.5. THE PERMIT HOLDER AND CONTRACTOR SHALL COORDINATE THE WORK WITH A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF MICHIGAN DURING CONSTRUCTION ACTIVITIES FOR THE PURPOSE OF WITNESSING, PRESERVING OR REPLACING SURVEY MONUMENTS AND MONUMENT BOXES.
6. EXPOSURE OF ANY UTILITIES UNDER THE PAVEMENT WILL NOT BE PERMITTED, UNLESS APPROVED BY THE WAYNE COUNTY ENGINEER. PAVEMENT REMOVAL AND REPLACEMENT SHALL BE PERFORMED PER APPLICABLE WAYNE COUNTY STANDARD DETAILS AND AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
7. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS WITHIN THE WAYNE COUNTY ROAD ROW AND DRAIN EASEMENT WITH 3" TOPSOIL, THM SEED MIX AND MULCH. SLOPES STEEPER THAN 1 ON 3 SHALL BE RESTORED BY PLACING SOD ON 2" TOPSOIL.
8. ALL BACKFILLS UNDER OR WITHIN 3 FEET OF THE PROPOSED OR EXISTING PAVEMENT, CURB OR SIDEWALK SHALL CONFORM TO THE WAYNE COUNTY TRENCH "B" BACKFILL REQUIREMENTS. TRENCH "A" BACKFILL MAY BE USED WITHIN THE ROAD ROW AREAS UNDER CONDITIONS OTHER THAN THOSE SPECIFIED FOR TRENCH "B".
9. CONTRACTOR IS RESPONSIBLE FOR RESTORING OR REPLACING ALL DISTURBED LANDSCAPED AREAS, SPRINKLER SYSTEMS, FENCES, SIGNS, MAIL BOXES, ETC. WITHIN THE WAYNE COUNTY ROAD ROW AND / OR AS DIRECTED BY THE COUNTY ENGINEER.
10. CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES. OTHERWISE, DETOURING TRAFFIC MUST BE PER APPROVED PLANS. ALL SIGNING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF M.M.U.T.C.D.
11. MAINTAIN A SAFE AND ADEQUATE TRAVEL ROUTE FOR PEDESTRIANS AT ALL TIMES THROUGHOUT THE PROJECT DURATION.
12. TUNNELING, BORING AND JACKING OPERATIONS SHALL BE IN ACCORDANCE WITH THE WAYNE COUNTY SPECIFICATIONS AND DETAILS. BORE PITS SHALL BE PLACED AT MINIMUM 10 FEET FROM THE BACK OF CURB OR EDGE OF PAVEMENT.
13. REMOVE ALL ABANDONED CONDUITS FROM THE COUNTY ROADS ROW OR AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
14. CONTRACTOR SHALL PROVIDE COLD WEATHER PROTECTION FOR ALL PROPOSED CONCRETE WORK, (PAVEMENTS, SIDEWALKS, DRIVE APPROACHES, ETC.) AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
15. OVERNIGHT VEHICLE PARKING AND STORAGE OF CONSTRUCTION MATERIALS AND EQUIPMENTS ARE NOT PERMITTED WITHIN THE WAYNE COUNTY ROADS RIGHTS-OF-WAY.
16. CONTRACTOR SHOULD OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT FROM THE WAYNE COUNTY DPS. CONTACT THE WAYNE COUNTY SOIL EROSION OFFICE AT (734) 336-5565, OR THE COMMUNITY HAVING JURISDICTION OVER THE SOIL EROSION PERMIT.
17. CONTRACTOR SHALL NOTIFY THE WAYNE COUNTY TRAFFIC SIGNAL SHOP AT (734) 955-2154 AT LEAST 72 HOURS PRIOR TO START OF WORK AT OR NEAR ANY SIGNALIZED INTERSECTIONS.
18. CONTRACTOR SHALL NOTIFY WAYNE COUNTY 72 HOURS PRIOR TO START OF CONSTRUCTION. CONTACT THE PERMIT OFFICE AT (734) 595-6504 EXTENSION 2009.

CAMPING WORLD - BELLEVILLE, MI

THE FOLLOWING UTILITY COMPANIES MAY HAVE FACILITIES WITHIN OR ADJACENT TO THE PROJECT LIMITS:

WATER AND SANITARY SEWER

VAN BUREN TOWNSHIP
DEPARTMENT OF PUBLIC SERVICES
46425 TYLER ROAD
VAN BUREN TWP., MI 48111
CONTACT: MARTY LADD (MLADD@NAVABUREN-MI.ORG)
(734) 699-8900

NATURAL GAS

DETROIT EDISON
3150 E. MICHIGAN AVE.
YPSILANTI TOWNSHIP, MI 48198
CONTACT: CHRIS BURKHART (CHRIS.BURKHART@DTEENERGY.COM)
(734) 544-7809

ELECTRICAL

DETROIT EDISON
WESTERN WAYNE SERVICE CENTER
8001 HAGGERTY RD.
BELLEVILLE, MI 48111
CONTACT: TIFFANY DAVIS OR NAZALYN HILL
(734) 397-4015

AT&T / FIBER

550 S. MAPLE
ANN ARBOR, MI 48103
CONTACT: TOYA TROUPE (tt2454@ATT.COM)
(734) 996-2167

COMCAST / CABLE

25626 TELEGRAPH RD.
SOUTHFIELD, MI 48034
CONTACT: CRAIG PUDAS (CRAIG_PUDAS@CABLE.COMCAST.COM)
(248) 809-2715

TRAFFIC SIGNALS (WAYNE COUNTY)

29900 GOODARD RD.
DETROIT, MI 48242
CONTACT: ERIC LENTZ, P.E.
(734) 955-2161

WAYNE COUNTY D.P.S. PERMITTING

33809 MICHIGAN AVE.
WAYNE, MI 48184
CONTACT: HIKMAT KASSEM, P.E.
(734) 959-6504 x2038

| REQUIRED PERMITS | DATE SUBMITTED |
|---|--|
| 1. WAYNE COUNTY STORM WATER / ENGINEERING | 04/08/2019 11/11/2019 revised |
| 2. VAN BURN TWP. SITE PLAN APPROVAL | 11/11/2019 01/23/20 revised 05/29/20 revised |
| | |
| | |

SHEET INDEX - SITE PLAN DRAWINGS

- COVER SHEET
- T1 BOUNDARY / TOPOGRAPHIC / TREE SURVEY
- T2 TREE LIST
- C1 OVERALL SITE PLAN
- C1A EMERGENCY VEHICLE ACCESS PLAN
- C2 DEMOLITION PLAN
- C3 PAVING & GRADING PLAN
- C4 UTILITY PLAN
- C5 SOIL EROSION AND SEDIMENTATION CONTROL PLAN
- C6 STORM WATER UNDERGROUND DETENTION SYSTEM NOTES & DETAILS
- C7 STORM WATER PRE-TREATMENT & OUTLET CONTROL DETAILS
- C8 STORM WATER PUMP SYSTEM DETAILS
- L1 LANDSCAPE PLAN

- E100 ELECTRICAL DEMOLITION PLAN
- E101 ELECTRICAL SITE PLAN
- E102 ELECTRICAL DETAILS
- E103 SITE PHOTOMETRIC PLAN

- A1 EXTERIOR ELEVATIONS
- A2 EXTERIOR DETAILS

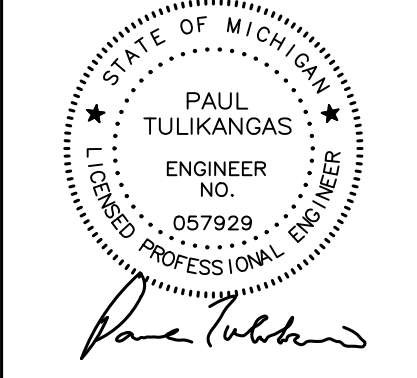
- P101 PLUMBING SITE PLAN, SCHEDULES, AND DETAILS
- PD101 MECHANICAL DEMOLITION PLAN

VAN BUREN TOWNSHIP - MD-1 - MISCELLANEOUS DETAILS
VAN BUREN TOWNSHIP - SE-1 - SOIL EROSION & SEDIMENTATION CONTROL DETAILS
VAN BUREN TOWNSHIP - SS-1 - SANITARY SEWER DETAILS
VAN BUREN TOWNSHIP - SS-2 - SANITARY SEWER DETAILS
VAN BUREN TOWNSHIP - ST-1 - STORM SEWER DETAILS
VAN BUREN TOWNSHIP - WM-1 - WATER MAIN DETAILS
VAN BUREN TOWNSHIP - WM-2 - WATER MAIN DETAILS
VAN BUREN TOWNSHIP - SW-1 - SIDEWALK DETAILS



WAYNE COUNTY DPS #R19-256
N & F JOB #K794

NOT FOR CONSTRUCTION



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM

ISSUE DATE: MAY 29, 2020

VAN BUREN TOWNSHIP NOTES:
1. ALL WORK SHALL CONFORM WITH THE CURRENT STANDARDS, SPECIFICATIONS, AND GENERAL CONDITIONS OF THE TOWNSHIP.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR RESOLVING ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH ARE THE RESULT OF THE DEVELOPER'S ACTIONS.

No. 11000 MORTON TAYLOR RD.
Owner: BLEVINS JOHN/BLVINS RUTH
APN: 83-060-99-0014-000

BENCHMARK
ARROW ON HYDRANT
ELEVATION 662.46
NAVD 88 DATUM

EX. LOADING DOCK & CONCRETE PAD TO BE REPAIRED (PER ARCH. PLANS)

LOADING AREA ("RECESSED")
MIN. 10'x50'
LOADING AREA ("AT GRADE")
MIN. 10'x50'
EX. DUMPER ENCLOSURE TO BE REPAIRED
PROVIDE WOOD GATE W/ STEEL PER TWP. REQ.
(SEE ARCH. PLANS PER DETAIL)

CATCH BASIN
MIN. 10'x50'
RIM 677.80
21" E. INV. 674.00
8" S. INV. 674.40
18" W. INV. 674.00



SITE SUMMARY

SITE GROSS LAND AREA: 383,049.79 S.F. OR 8.794 ACRES (PER REC. DESCRIPTION)
SITE ZONING: C-2 "EXTENSIVE HIGHWAY BUSINESS"
BUILDING SETBACKS:
FRONT = 35' (NORTH)
SIDES = 25' (ONE SIDE), 50' (TOTAL FOR BOTH SIDES)
REAR = 20'

MAX. BUILDING HEIGHT PERMITTED: 4 STORIES / 40'
MAX. BUILDING HEIGHT EXISTING/PROPOSED: 1 STORY / 22'± MAX HEIGHT
EXISTING BUILDING FOOTPRINT: 43,772 S.F. OR 1,000 ACRES (APPROXIMATE)
EX. BUILDING LOT COVERAGE: 1,000 AC/8,794 AC = 11.4%
PROPOSED BUILDING DEMOLITION: 15,633 S.F. OR 0.36 ACRES (APPROXIMATE)
PROPOSED BUILDING (POST-DEMOLITION): 28,139 S.F. OR 0.646 ACRES (APPROX.)
PR. BUILDING LOT COVERAGE: 0.646 AC/8,794 AC = 7.4%

SPECIAL LAND USE REQUIREMENTS

PROPOSED FACILITY SHALL MEET VAN BUREN ZONING ORDINANCE REQUIREMENTS, SECTIONS 5.133 AND 5.141 FOR "OUTDOOR VEHICLE SALES" AND "VEHICLE SERVICE", RESPECTIVELY.

SECTION 5.133 - "OUTDOOR VEHICLE SALES"
A. ALL VEHICLES IN THE OUTDOOR SALES LOT SHALL BE OPERABLE.
B. PROPOSED PARKING LOTS SHALL MEET ALL APPLICABLE REQUIREMENTS IN TERMS OF LOT SURFACING, DRAINAGE, AND INGRESS/EGRESS (A WAIVER IS REQUESTED TO FORGO COMPLETE PERIMETER CURBING).
C. ALL SALES AREAS ARE LOCATED AT LEAST 100 FEET AWAY FROM ANY ROAD INTERSECTIONS.
D. MAJOR REPAIRS/REFINISHING SHALL NOT BE PERFORMED ON THE LOT.
E. USED AUTO PARTS SHALL NOT BE DISPLAYED OR SOLD ON THE LOT.
F. THE ONLY VEHICLES ALLOWED TO BE DISPLAYED WITHIN THE FRONT YARD SHALL BE NEW VEHICLES.
G. ALL LIGHTING SHALL MEET APPLICABLE ZONING ORDINANCE REQUIREMENTS.
H. AN OPAQUE FENCE SHALL BE PROVIDED ON ANY LOT LINES ADJUTING DISTRICTS WHICH ARE ZONED FOR RESIDENTIAL USE (IF REQUIRED BY VAN BUREN TOWNSHIP TO SUPPLEMENT PROPOSED LANDSCAPE SCREENING).
I. A PERMANENT ENCLOSED OFFICE BUILDING FOR RECORDS AND SUPERVISION IS PROVIDED ON-SITE.

SECTION 5.141 - "VEHICLE SERVICE"
A. THE SERVICE STATION / COMMERCIAL GARAGE IS LOCATED MORE THAN 500 FEET FROM ANY ENTRY/EXIT TO A LOT WHERE A PUBLIC, PAROCHIAL, OR PRIVATE SCHOOL OR PLAYGROUND, PLAYFIELD, OR PARK IS LOCATED.
B. THE MINIMUM FRONTAGE ON ANY ONE PUBLIC STREET IS EXCEEDS THE 150 FOOT REQUIREMENT.

PARKING CALCULATIONS

PARKING REQUIREMENTS
PER TOWNSHIP ZONING ORDINANCE:
FOR LAND USE (19) "MOTOR VEHICLE SALES AND SERVICE ESTABLISHMENTS":
1.0 SPACE FOR EVERY 200 GROSS FLOOR SPACE OF INTERIOR SALES AND 2.0 SPACES FOR EVERY AUTO SERVICE STALL.

PROPOSED BUILDING POST DEMOLITION SHALL BE COMPRISED OF APPROXIMATELY 500 SALES AREA AND 500 SERVICE AREA, WHICH SHALL CONTAIN 5 SERVICE STALLS.

REQUIRED PARKING - SALES AREA
500 * 28,139 S.F. = 14,070 S.F. (14,070/200) = 70 SPACES

REQUIRED PARKING - SERVICE AREA
5 SERVICE STALLS * 2 SPACES PER STALL = 10 SPACES
TOTAL REQUIRED PARKING (CUSTOMER) = 80 SPACES

TOTAL PROVIDED PARKING (CUSTOMER) = 82 SPACES
BREAKDOWN OF PROVIDED PARKING:

- (69) STANDARD PARKING SPACES (90° ORIENTATION W/ MIN. 9.5'x24' DIMENSIONS AND 24' DRIVE LINE WIDTH PER TOWNSHIP ORDINANCE)
- (4) BARRIER-FREE SPACES (2 VAN-ACCESSIBLE) (8'x20' STALL DIMENSIONS W/ 5' OR 8' WIDE ADJACENT ACCESS AISLE)
- (9) R.V. CUSTOMER PARKING SPACES (12'x60' DIMENSIONS)

R.V. INVENTORY PARKING AREAS:
• (121) 12'x40' INVENTORY SPACES
• (2) 12'x35' INVENTORY SPACES
• (12) 12'x23' INVENTORY SPACES
• (9) 12'x22' INVENTORY SPACES
• (29) 12'x20' INVENTORY SPACES
• TOTAL R.V. INVENTORY SPACES PROVIDED = 173 SPACES

GENERAL SITE PLAN NOTES

ALL WORK SHALL CONFORM TO APPLICABLE STANDARDS, SPECIFICATIONS, AND REQUIREMENTS FROM THE TOWNSHIP OF VAN BUREN, WAYNE COUNTY, AND MICHIGAN DEPT. OF ENVIRONMENT, GREAT LAKES, AND ENERGY (EGLE).

SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL BUILDING INFORMATION. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL LANDSCAPE INFORMATION.
ALL RADIAL DIMENSIONS SHOWN ARE TO PROPOSED BACK OF CURB, EDGE OF PAVEMENT OR EDGE OF SIDEWALK.
LOCATIONS FOR PROPOSED GAS, ELECTRIC, U.G. COMMUNICATIONS AND OTHER FRANCHISED UTILITIES SHALL BE CONFIRMED UPON COORDINATION WITH SERVICE PROVIDERS/PLANNERS.

A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT IS REQUIRED THROUGHOUT THE AGENCY HAVING JURISDICTION (WAYNE COUNTY). ALL SOILS SHALL BE CONTROLLED AND CONTAINED ON SITE THROUGHOUT THE COURSE OF THE PROJECT.

PERMIT NOTES

REVIEW AND/OR PERMITTING IS REQUIRED FROM THE FOLLOWING AGENCIES:
SOIL EROSION: WAYNE COUNTY SESC C.E.A.
STORM DRAIN & STORM WATER DETENTION: VAN BUREN TWP. & WAYNE COUNTY
PUBLIC HYDRANT RELOCATION: VAN BUREN TWP. & MI EGLE

FIRE DEPARTMENT NOTES

APPLICABLE FIRE CODE REQUIREMENTS PER VAN BUREN TOWNSHIP (NFPA 2018, EDITIONS 1 AND 101) SHALL BE ADHERED TO FOR ALL PROPOSED SITE AND BUILDING IMPROVEMENTS.

A KNOX KEY SYSTEM SHALL BE INSTALLED IN ALL LOCATIONS DESIGNATED ON THE PLAN. ORDERING INFORMATION IS AVAILABLE FROM THE KNOX COMPANY AT KNOXBOX.COM

PROPOSED WALL FINISHES SHALL MEET APPLICABLE REQUIREMENTS OF FFPA.
MINIMUM ALLOWABLE FIRE LANE WIDTH IS 20 FEET. FIRE LINES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

AS PART OF THE PROPOSED SITE PLAN APPROVAL REQUIREMENTS, THE FOLLOWING ITEMS PERTAINING TO THE EXISTING BUILDING/FACILITY NEED TO BE COMPLETED:
1. CONFIRM THAT EXISTING FIRE ALARM SYSTEM IS MONITORED AND OPERATIONAL.
2. COORDINATE WITH VAN BUREN TOWNSHIP TO DETERMINE IF BUILDING EMERGENCY LIGHTING MEETS CURRENT STANDARDS AND PROVIDE ADDITIONAL EMERGENCY LIGHTING AS REQUIRED.
3. PROVIDE TESTING AND DOCUMENTATION THEREOF TO ENSURE THE EXISTING PRIVATE FIRE HYDRANT LOCATED ON NORTH SIDE OF BUILDING IS FUNCTIONAL AND PROVIDES REQUIRED FIRE FLOWS.
4. PROVIDE TESTING AND DOCUMENTATION THEREOF TO ENSURE THE EXISTING BUILDING MEETS APPLICABLE EMERGENCY RADIO COVERAGE REQUIREMENTS. IF REQUIREMENTS ARE NOT MET, AN AMPLIFICATION SYSTEM MAY BE REQUIRED.

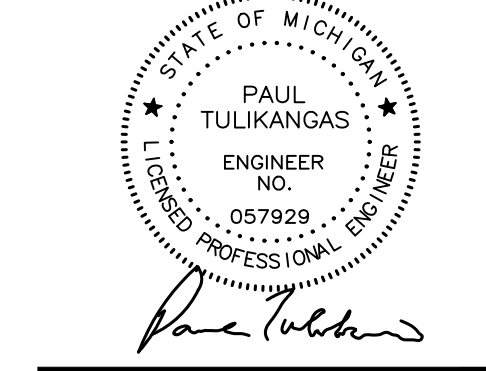


NOWAK & FRAUS
ENGINEERS

CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL (248) 332-7931
FAX (248) 332-8257
WWW.NOWAKFRAUS.COM

SEAL
NOT FOR CONSTRUCTION



PROJECT
Camping World - Belleville

CLIENT
Camping World
43646 N. Inerstate 94
Service Drive
CONTACT
Derrick Matter, Director of
Construction & Facilities

250 Parkway Dr, Suite 270
Lincolnshire, Illinois 60069

Phone: (847) 229-6429
Email:
Derrick.Matter@Ganderoutdoors.com

PROJECT LOCATION
Part of the Southeast 1/4
of Section 15
Town 3 South, Range 8 East
Van Buren Twp,
Wayne County, Michigan

SHEET
Overall Site Plan



| DATE | ISSUED/REVISED |
|------------|----------------------------------|
| 04-08-2019 | WAYNE COUNTY SUBMITTAL |
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| 09-13-2019 | REVISED SITE |
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| 03-31-2020 | REVISED FOR SITE PLAN APPROVAL |
| 05-29-2020 | REVISED FOR SITE PLAN APPROVAL |

DRAWN BY:
G. Viju

DESIGNED BY:
P. Tulikang

APPROVED BY:
B. Buchholz

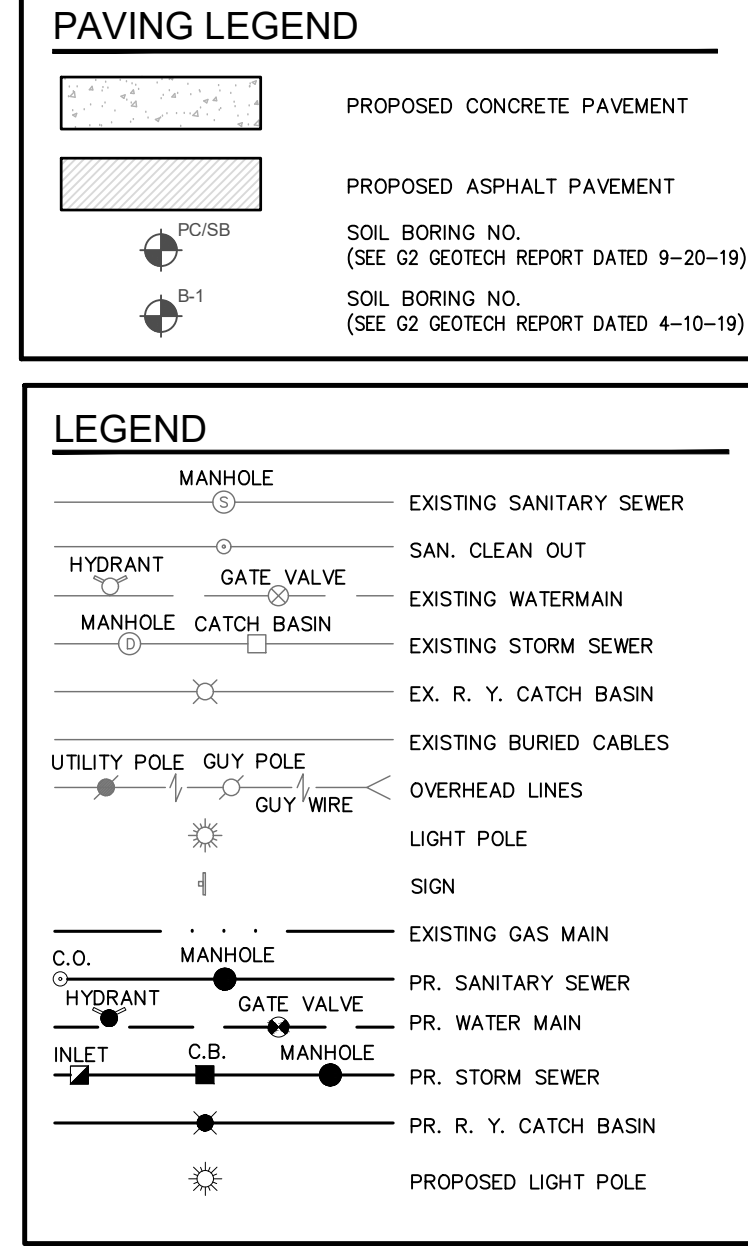
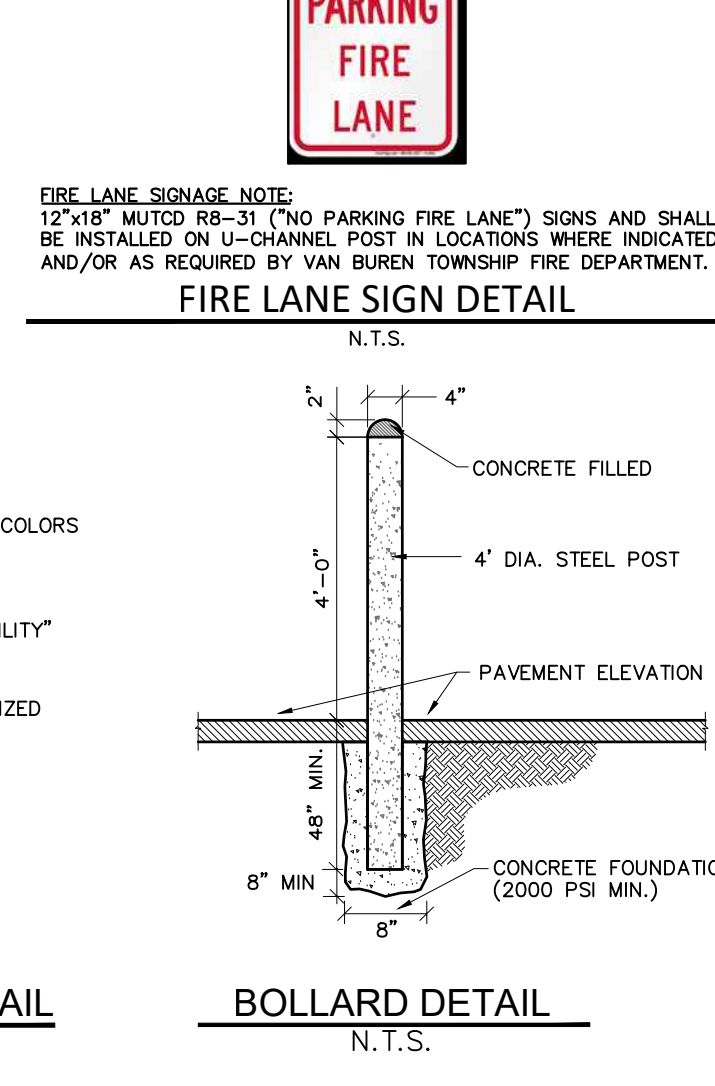
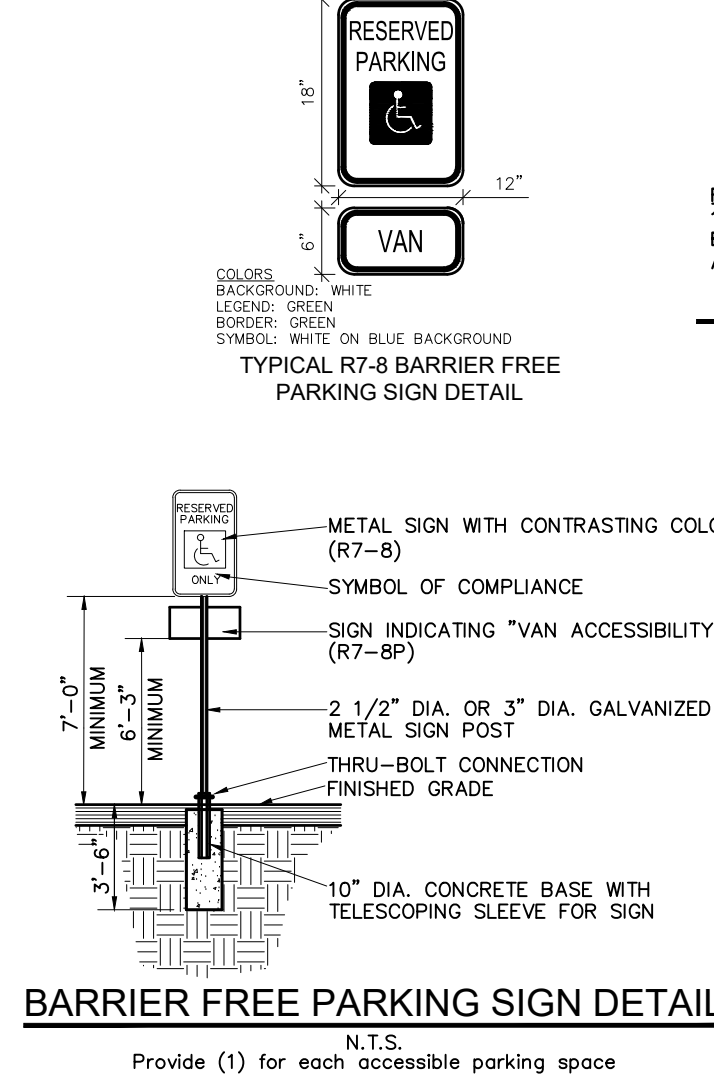
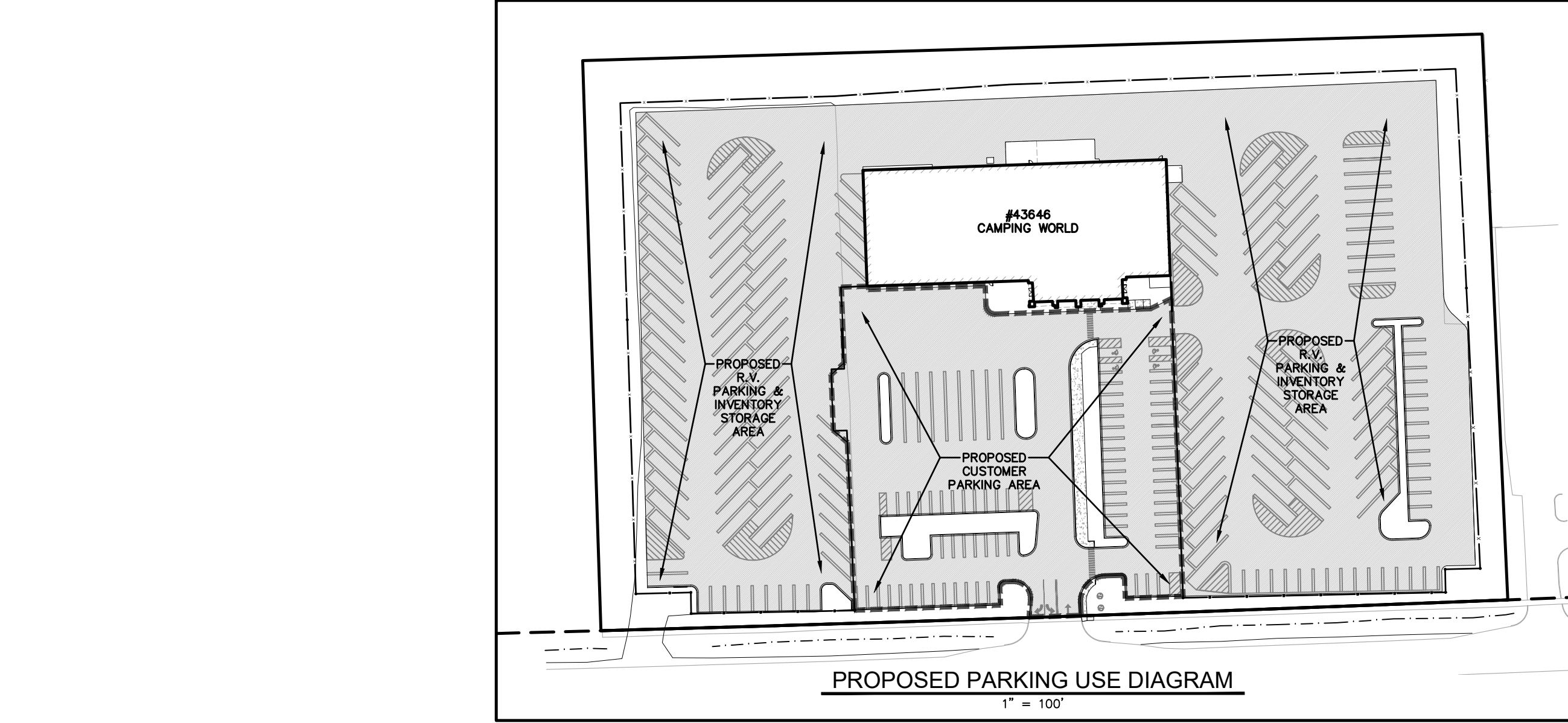
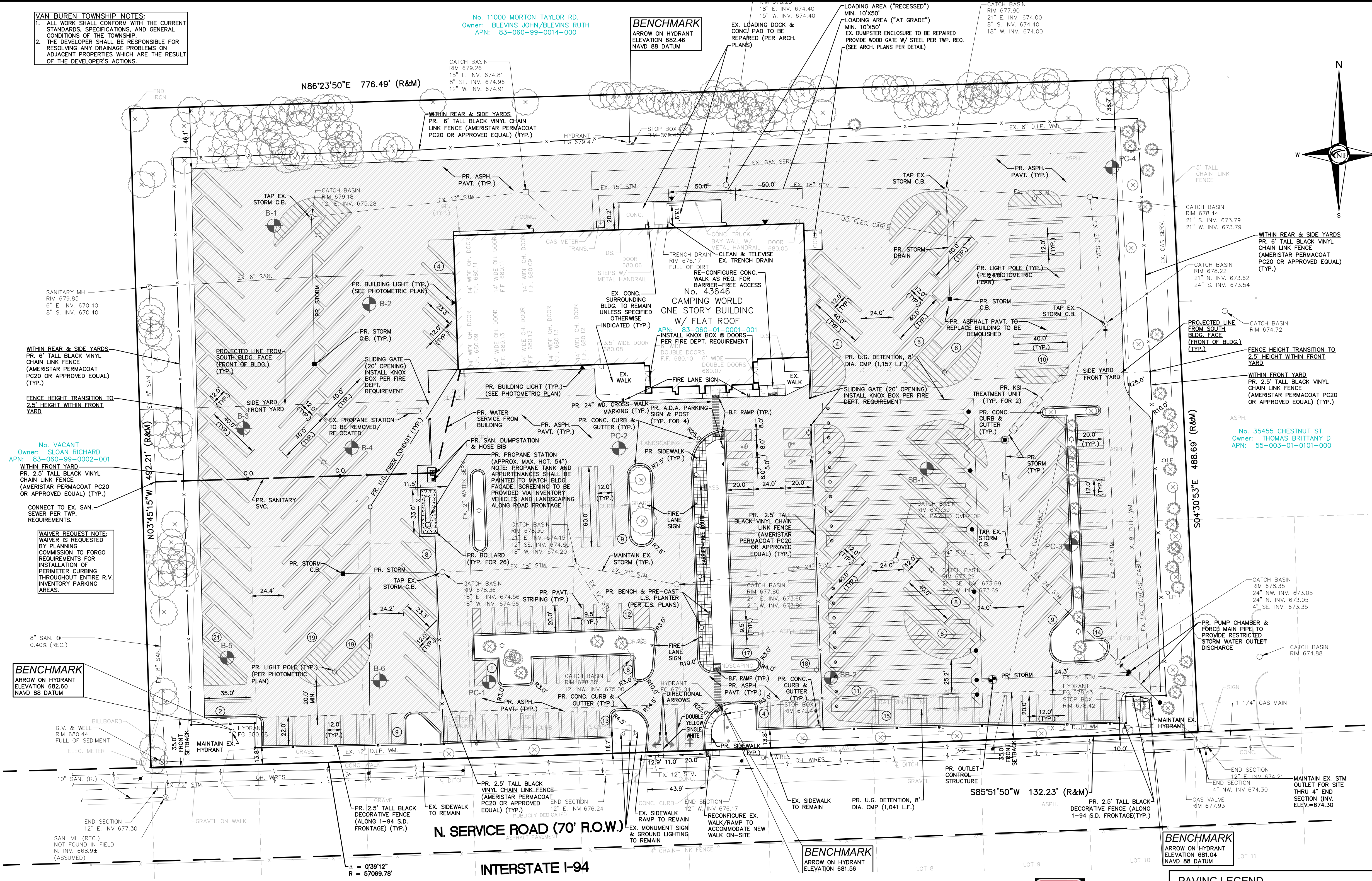
DATE:
2-20-2019

SCALE: 1" = 40'

40 20 0 20 40 60

NFE JOB NO.
K794

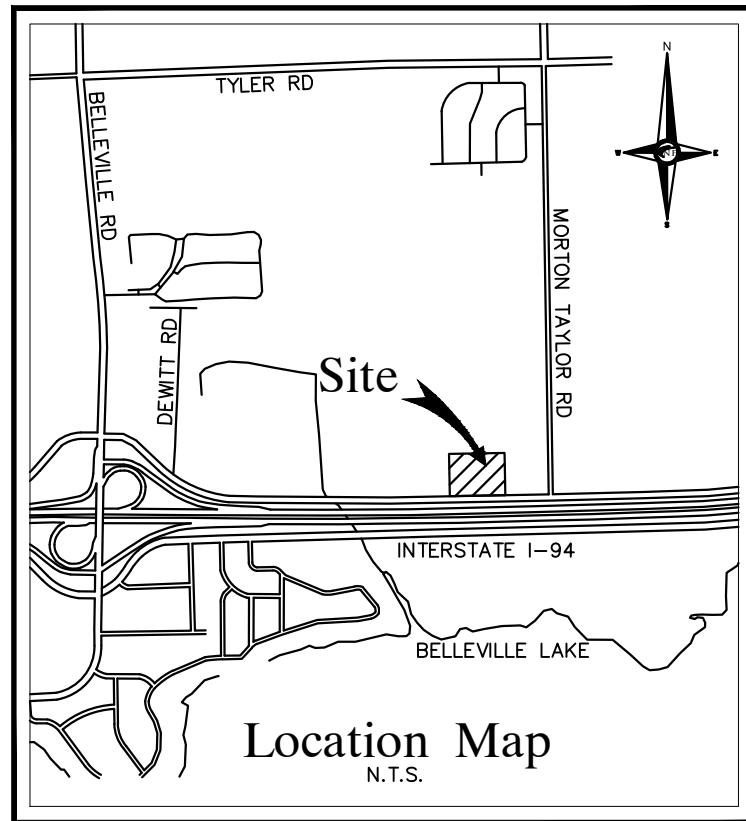
SHEET NO.
C1



No. 11000 MORTON TAYLOR RD.
Owner: BLEVINS JOHN/BLEVINS RUTH
APN: 83-060-99-0014-000

No. VACANT
Owner: SLOAN RICHARD
APN: 83-060-99-0002-001

No. 35455 CHESTNUT ST.
Owner: THOMAS BRITTANY D
APN: 55-003-01-0101-000

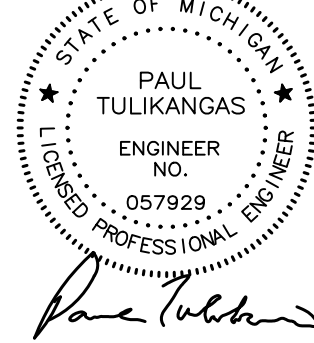


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PROJECT
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Camping World
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Service Drive
CONTACT
Derrick Matter, Director of
Construction & Facilities

250 Parkway Dr, Suite 270
Lincolnshire, Illinois 60069

Phone: (847) 229-6429
Email:
Derrick.Matter@Ganderoutdoors.com

PROJECT LOCATION
Part of the Southeast 1/4
of Section 15
Town 3 South, Range 8 East
Van Buren Twp,
Wayne County, Michigan

SHEET
Emergency Vehicle
Access Plan



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DRAWN BY:
C. Ellison

DESIGNED BY:
P. Tulikangas

APPROVED BY:
B. Buchholz

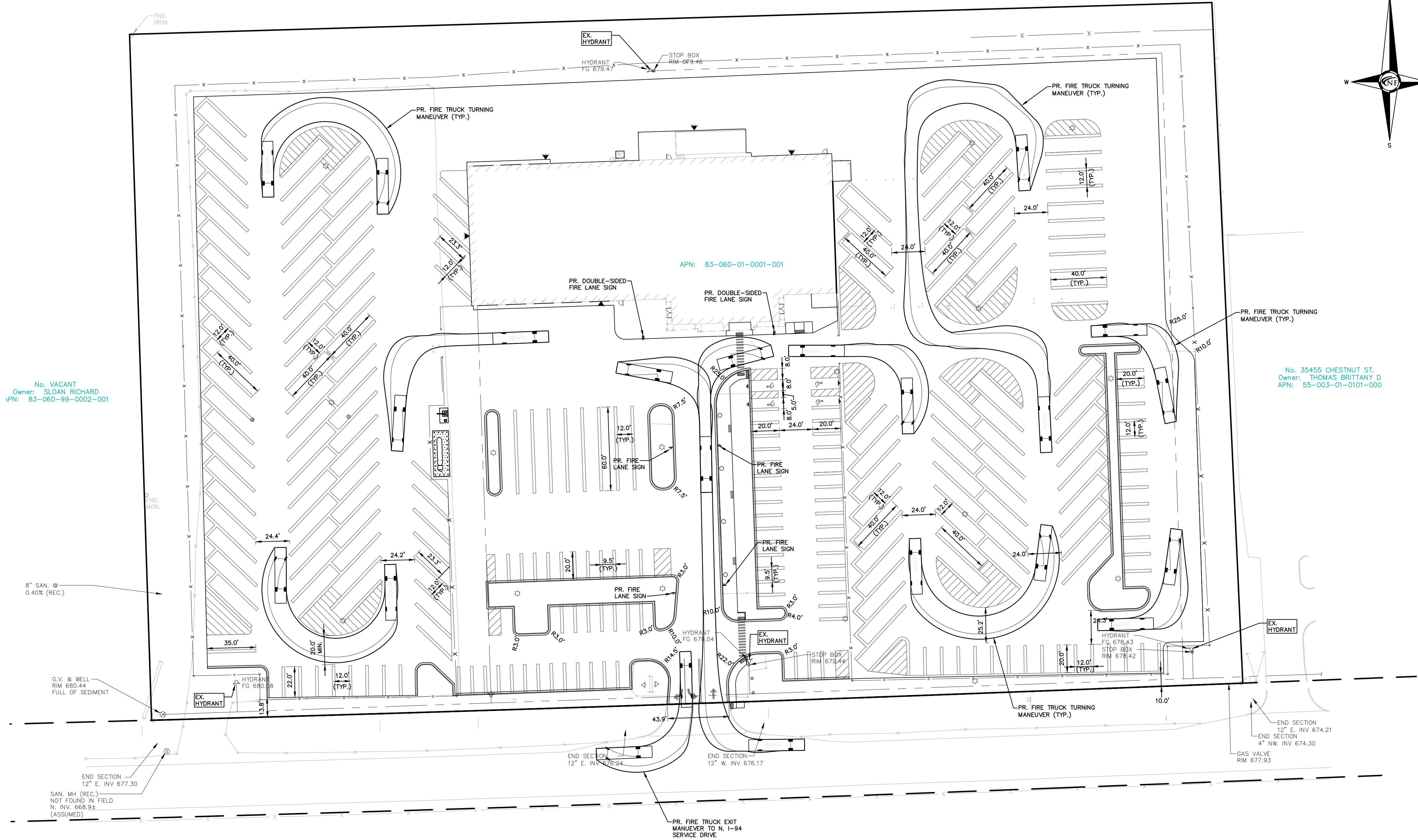
DATE:
2-20-2019

SCALE: 1" = 40'

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NFE JOB NO. SHEET NO.
K794 C1A

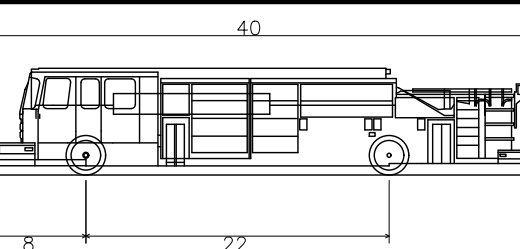
WAYNE COUNTY DPS #R19-256



FIRE LANE SIGNAGE NOTE:
12"x16" MUTCO RB-31 (NO PARKING FIRE LANE) SIGNS AND SHALL
BE INSTALLED ON U-CHANNEL POST IN LOCATIONS WHERE INDICATED,
AND/OR AS REQUIRED BY VAN BUREN TOWNSHIP FIRE DEPARTMENT.
FIRE LANE SIGN DETAIL
N.T.S.

EMERGENCY VEHICLE LEGEND

PLAN VIEW PUMPER FIRE TRUCK
TURN REVIEW



Pumper Fire Truck
Overall Length 40.000ft
Overall Width 8.167ft
Overall Body Height 7.745ft
Min Body Ground Clearance 0.656ft
Track Width 8.167ft
Lock-to-lock time 5.00s
Max Wheel Angle 45.00°

FIRE DEPARTMENT NOTES

APPLICABLE FIRE CODE REQUIREMENTS PER VAN BUREN TOWNSHIP (NFPA 2018, EDITIONS 1 AND 101) SHALL BE ADHERED TO FOR ALL PROPOSED SITE AND BUILDING IMPROVEMENTS.

A KNOX KEY SYSTEM SHALL BE INSTALLED IN ALL LOCATIONS DESIGNATED ON THE PLAN. ORDERING INFORMATION IS AVAILABLE FROM THE KNOX COMPANY AT KNOXBOX.COM.

PROPOSED WALL FINISHES SHALL MEET APPLICABLE REQUIREMENTS OF FFPA.

MINIMUM ALLOWABLE FIRE LANE WIDTH IS 20 FEET. FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

AS PART OF THE PROPOSED SITE PLAN APPROVAL REQUIREMENTS, THE FOLLOWING ITEMS PERTAINING TO THE EXISTING BUILDING/FACILITY NEED TO BE COMPLETED:

1. CONFIRM THAT EXISTING FIRE ALARM SYSTEM IS MONITORED AND OPERATIONAL.
2. COORDINATE WITH VAN BUREN TOWNSHIP TO DETERMINE IF BUILDING EMERGENCY LIGHTING MEETS CURRENT STANDARDS AND PROVIDE ADDITIONAL EMERGENCY LIGHTING AS REQUIRED.
3. PROVIDE TESTING AND DOCUMENTATION THEREOF TO ENSURE THE EXISTING PRIVATE FIRE HYDRANT LOCATED ON NORTH SIDE OF BUILDING IS FUNCTIONAL, AND PROVIDES REQUIRED FIRE FLOWS.
4. PROVIDE TESTING AND DOCUMENTATION THEREOF TO ENSURE THE EXISTING BUILDING MEETS APPLICABLE EMERGENCY RADIO COVERAGE REQUIREMENTS, IF REQUIREMENTS ARE NOT MET, AN AMPLIFICATION SYSTEM MAY BE REQUIRED.

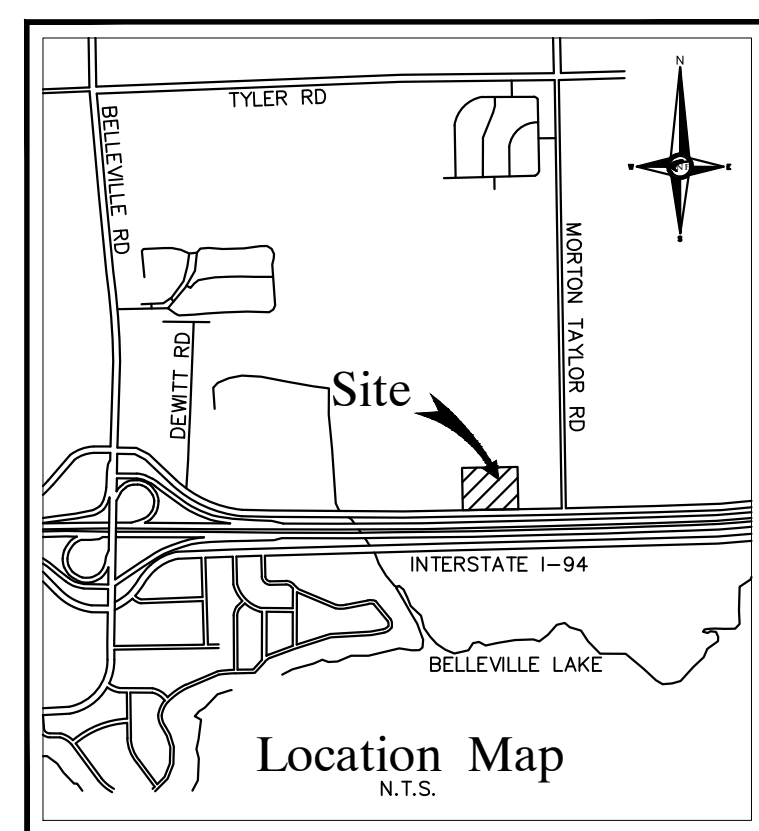


$\Delta = 0^{\circ}39'12''$
 $R = 57069.78'$
 $L = 650.76'$
 $CHD. BRG =$
 $N86^{\circ}11'26''E$
 $650.76'$
 $(R\&M)$
















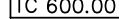
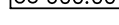
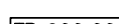
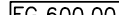

BENCHMARK
ARROW ON HYDRANT
ELEVATION 681.56
NAVD 88 DATUM

BENCHMARK
ARROW ON HYDRANT
ELEVATION 681.04
NAVD 88 DATUM

WAYNE COUNTY DPS #R19-256



LEGEND

| | |
|---|-------------------------------|
|  | EXISTING SANITARY SEWER |
|  | SAN. CLEAN OUT |
|  | EXISTING WATERMAIN |
|  | EXISTING STORM SEWER |
|  | EX. R. Y. CATCH BASIN |
|  | EXISTING BURIED CABLES |
|  | OVERHEAD LINES |
|  | LIGHT POLE |
|  | SIGN |
|  | EXISTING GAS MAIN |
|  | PR. SANITARY SEWER |
|  | PR. WATER MAIN |
|  | PR. STORM SEWER |
|  | PR. R. Y. CATCH BASIN |
|  | PROPOSED LIGHT POLE |
|  | PR. TOP OF CURB ELEVATION |
|  | PR. GUTTER ELEVATION |
|  | PR. TOP OF WALK ELEVATION |
|  | PR. TOP OF P.V.M.T. ELEVATION |
|  | ENH. SIDEWALK ELEVATION |

SEAL

NOT FOR CONSTRUCTION

STATE OF MICHIGAN

PAUL TULIKANGAS

ENGINEER

NO. 057929

LICENSED PROFESSIONAL ENGINEER

Paul Tulikangas

Phone: (847) 229-6429
Email: Derrick.Matter@Ganderoutdoors.com

SHEET

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DRAWN BY:
G. Viju

DESIGNED BY:
P. Tulikangas

APPROVED BY:
B. Buchholz

DATE:
2-20-2019

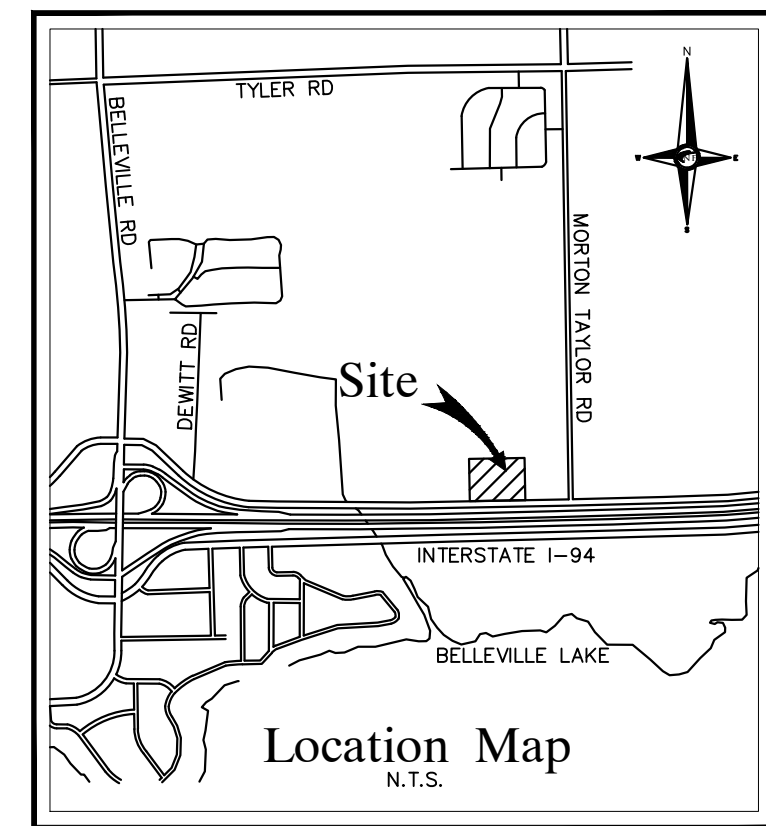
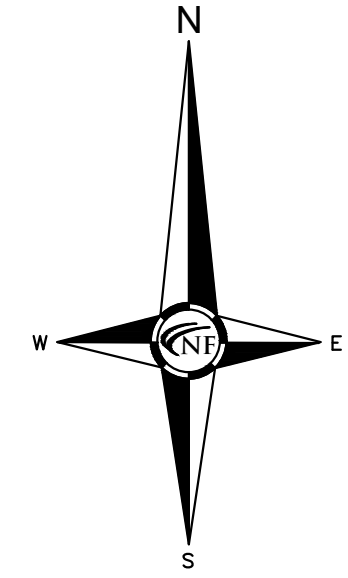
SCALE: 1" = 40'

NFE JOB NO. SHEET NO.

VAN BUREN TOWNSHIP NOTES:
1. ALL WORK SHALL CONFORM WITH THE CURRENT STANDARDS, SPECIFICATIONS, AND GENERAL CONDITIONS OF THE TOWNSHIP.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR RESOLVING ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH ARE THE RESULT OF THE DEVELOPER'S ACTIONS.

No. 11000 MORTON TAYLOR RD.
Owner: BLEVINS JOHN/BLEVINS RUTH
APN: 83-060-99-0014-000

BENCHMARK
ARROW ON HYDRANT
ELEVATION 682.46
NAVD 88 DATUM

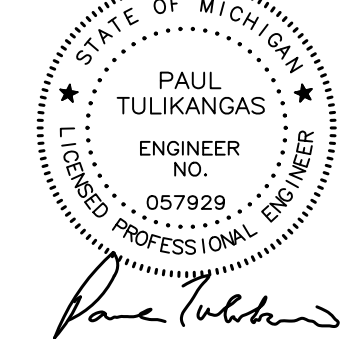


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PROJECT LOCATION
Part of the Southeast 1/4
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Town 3 South, Range 8 East
Van Buren Twp,
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SHEET
Utility Plan



Know what's below
Call before you dig.

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DRAWN BY:
G. Viju

DESIGNED BY:
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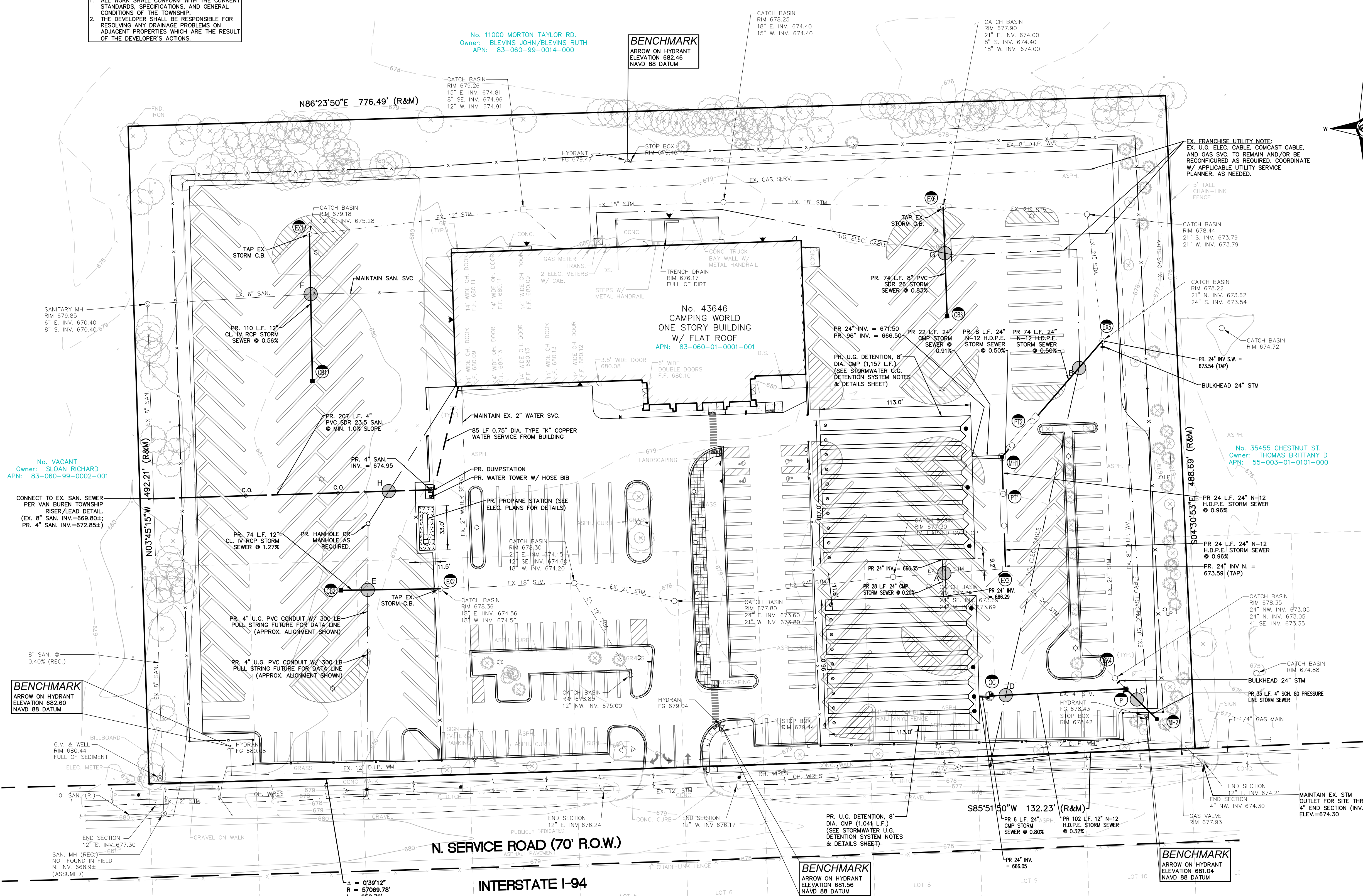
DATE:
2-20-2019

SCALE: 1" = 40'

40 20 0 20 40 60

NFE JOB NO.
K794

SHEET NO.
C4



PROPOSED STORM STRUCTURE SCHEDULE

- EX. 1. TAP EX. CATCH BASIN
RIM 679.18
12" S. INV. 675.28 (MAINTAIN)
12" S. INV. 675.38 (TAP)
- EX. 2. TAP EX. CATCH BASIN
RIM 678.36
16" E. INV. 674.56 (MAINTAIN)
18" W. INV. 674.56 (REMOVE)
12" W. INV. 675.56 (TAP/CONNECT)
- EX. 3. TAP EX. CATCH BASIN
RIM 677.29
24" SE. INV. 673.69 (MAINTAIN)
24" N.E. INV. 673.05 (MAINTAIN)
PR. 24" N. INV. 673.59 (TAP)
- EX. 4. BULKHEAD EX. CATCH BASIN
RIM 678.35
24" NW. INV. 673.05 (MAINTAIN)
4" SE. INV. 673.35 (BULKHEAD)
- EX. 5. TAP & BULKHEAD
EX. CATCH BASIN
RIM 678.22
21" N. INV. 673.62
24" S. INV. 673.54 (BULKHEAD)
PR. 24" S.W. INV. 673.54 (TAP)
- EX. 6. TAP EX. CATCH BASIN
RIM 677.90
21" E. INV. 674.00 (MAINTAIN)
15" W. INV. 674.00 (MAINTAIN)
8" S. INV. 674.40 (REMOVE)
8" S. INV. 674.40 (TAP/CONNECT)
- EX. 7. KSI PUMP CHAMBER
(PER DETAIL)
RIM 678.50
12" W. INV. 665.67 (GRAVITY)
4" S.E. INV. 674.50 (FORCE MAIN)
- PR. 2' DIA. STORM INLET
RIM 676.00
12" N. INV. 676.00
- PR. 2' DIA. STORM INLET
RIM 679.00
12" E. INV. 675.50
- PR. 2' DIA. STORM INLET
RIM 678.25
8" N. INV. 675.08
- PR. 5' DIA. MANHOLE
RIM 678.20
24" N.E. INV. 673.05
24" S. INV. 673.05
24" W. INV. 671.70
- PR. 4' DIA. MANHOLE
(CONSTRUCT OUTLINE OF EX. SEWER)
RIM 678.50
2" N.W. INV. 675.00 (FORCE MAIN DISCHARGE)
4" S.E. INV. 673.80 (FIELD VERIFY)
- PR. KSI SERIES 2500 HOPE
TREATMENT CHAMBER
RIM 677.82
PR. 24" N. INV. 673.28
PR. 24" S. INV. 673.36
- PR. KSI SERIES 2000 HOPE
TREATMENT CHAMBER
RIM 678.43
PR. 24" N.E. INV. 673.17
PR. 24" S.W. INV. 673.09
- PR. 6' DIA. FLOW RESTRICTOR
W.H. W/ 2" SUMP PER
WAYNE COUNTY DETAIL FR-1
RIM 678.25
7/8" W.H. WALL = 674.40
24" W. INV. 666.00
12" E. INV. 666.00

UTILITY CROSSING SCHEDULE

NOTES:

- ALL CROSSINGS SHALL BE FIELD VERIFIED.
- ALL ELEVATIONS ARE ±
- RWSP = REVIEW WITH SERVICE PROVIDER
- MIN. VERTICAL CLEARANCE OF CROSSINGS
- EX. 24" STORM B/PIPE 815.60
PR. 24" STORM T/PIPE 668.40
CLEARANCE: 5.2'

B. EX. U.G. ELECTRIC - RWSP

PR. 24" STORM T/PIPE 675.40
CLEARANCE: 1.5' (MIN.)

C. PR. 4" STORM B/PIPE 576.70

EX. 8" WATER MAIN T/PIPE - FIELD
VERIFY
CLEARANCE: 1.5' (MIN.)

D. EX. U.G. ELEC. - FIELD VERIFY

PR. 12" STORM T/PIPE 666.96
CLEARANCE: 1.5' (MIN.)

E. PR. FIBER CONDUIT. - FIELD VERIFY

PR. 12" STORM T/PIPE 676.25
CLEARANCE: 1.5' (MIN.)

F. PR. 12" STORM B/PIPE 675.64

EX. 8" SANITARY - FIELD VERIFY
CLEARANCE: 1.5' (MIN.)

G. U.G. ELEC. - FIELD VERIFY

PR. 8" STORM T/PIPE 675.36
CLEARANCE: 1.5' (MIN.)

H. PR. U.G. CONDUIT. - FIELD VERIFY

PR. 4" SAN T/PIPE 675.00
CLEARANCE: 1.5' (MIN.)

STORM DRAIN, SANITARY SEWER, AND WATER MAIN NOTES:

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP OF VAN BUREN AND WAYNE COUNTY, AS APPLICABLE. THE TOWNSHIP OF VAN BUREN NOTES, DETAILS AND SPECIFICATIONS SHALL BE INCORPORATED AS PART OF THESE PLANS.
- ALL PIPE TRENCHES UNDER OR WITHIN A FIVE (5) FOOT INFLUENCE OF EXISTING OR PROPOSED BUILDING AND PAVEMENTS SHALL BE BACK FILLED WITH ENGINEERED FILL CONSISTING OF MDT CLASS II SAND AND BE MACHINE COMPACTED IN 8" TO 9" LIFTS TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY UTILIZING ASTM 1557-T180 MODIFIED PROCTOR OR AS RECOMMENDED BY THE SOILS ENGINEER. PAVEMENTS SHALL INCLUDE PARKING LOTS, DRIVE APPROACHES, CURB & GUTTER AND ADJACENT WALKS.
- ALL STORM DRAIN AND SEWER PIPE SHALL BE INSTALLED ON CLASS "B" BEDDING OR BETTER. ALL STORM, SANITARY, AND WATER MAIN PIPE TRENCHES SHALL BE AS SHOWN ON STANDARD DETAIL SHEETS.
- STORM DRAIN AND SEWER SHALL BE OF THE TYPE, SIZE AND CLASS DESIGNATION AS INDICATED ON THE PLANS AND LIKEWISE BE INSTALLED AT THE PROPOSED LINE AND GRADE.
- ALL STORM DRAIN PIPE SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM SPECIFICATION C-76 CL IV, UNLESS OTHERWISE INDICATED.
- AND WATER MAIN PIPE SHALL BE AS SHOWN AND IN ACCORDANCE WITH THE MUNICIPALITY STANDARDS.
- ALL MANHOLE, CATCH BASIN, AND GATE WELL COVERS/CASTINGS SHALL BE AS INDICATED IN THE PLANS IN ACCORDANCE WITH MUNICIPALITY STANDARDS.
- THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- EXACT GRADES AND INVERTS OF PROPOSED STORM DRAIN AND SEWER ARE TO BE CHECKED WITH THE FIELD ENGINEER PRIOR AND DURING INSTALLATION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY PLAN INCONSISTENCY AND/OR UTILITY CONFLICTS.
- ALL STORM DRAIN PIPE JOINTS SHALL BE "PREMIUM JOINT" MODIFIED GROOVED TONGUE (MGT) WITH SYNTHETIC RUBBER GASKETS CONFORMING TO ASTM SPECIFICATION C-443 AND C-361 UNLESS OTHERWISE INDICATED ON THE PLANS.
- FACILITY MANUFACTURED PRECAST TEE SECTIONS SHALL BE FOR ROOF DRAINS AND/OR SUMP PUMP LEADS AND LATERALS WHERE INDICATED ON THE PLANS. BLIND TAP CONNECTIONS INTO STORM SEWER WILL NOT BE PERMITTED BY BREAKING PIPE WALL.
- THE UNDERGROUND SITE CONTRACTOR SHALL INSTALL ALL STORM DRAIN AND SEWER BUILDING LEADS (IF REQUIRED) TO WITHIN FIVE (5) FEET OF PROPOSED BUILDING.
- UTILIZE FLOWABLE FILL IN AREAS AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- ASSURE PROPER COMPACTION AROUND ALL STORM DRAIN, SEWER, AND WATER MAIN PIPE, INCLUDING CROSSINGS WITH OTHER UTILITIES.
- ALL STORM DRAIN PIPE SIDEWALL TAPS SHALL BE DONE VERTICALLY CENTER TO CENTER OF PIPES, AND HORIZONTALLY IN THE MIDDLE OF A PIPE SECTION (TYPICAL CONCRETE PIPE SECTION IS 8' LONG). MAKE TAPS IN THE PRESENCE OF THE MUNICIPALITY'S INSPECTOR.
- INSTALL CONCRETE THRUST BLOCKS AT ALL BENDS AND HYDRANT TEES PER GOVERNING AGENCY DETAILS.

SEWER BASIS OF DESIGN ATTACHMENT

Name of Project: Camping World, Belleville, MI

SANITARY SEWER BASIS OF DESIGN (FOR REC. VEHICLE DUMP-STATION):

Using Ten State Standard Equations for Peak Flow

Assume one Recreational Vehicle is Equivalent to one single-family house

Based on conservative estimated maximum Recreation Vehicle (RV) usage of 2 per day

Residential Equivalent Units (REU):

Density per Unit:

Design/Ultimate Population to be Served (P):

Design Flowrate (per capita) is:

Design Contribution (per REU) is:

Peaking Factor is: $((P/1000)^{0.5} + 1) / ((P/1000)^{0.5} + 4)$

Peak Flow is:

Design Flow converted to gpm:

Peak Flow converted to gpm:

Peak Flow converted to cfs:

Design Flow converted to cfs:

Capacity of Pr. 4" PVC San. Service @ 1.00% (min)

Capacity of Ex. 8" San. Sewer Main @ 0.40% (Outlet)

1.00 REU/Rec. Vehicle

2.00 REU

2 REUs

3 people/unit

6 people

100 gpd

300 gpd

4.43 gpd

443 gpd

0.42 gpm

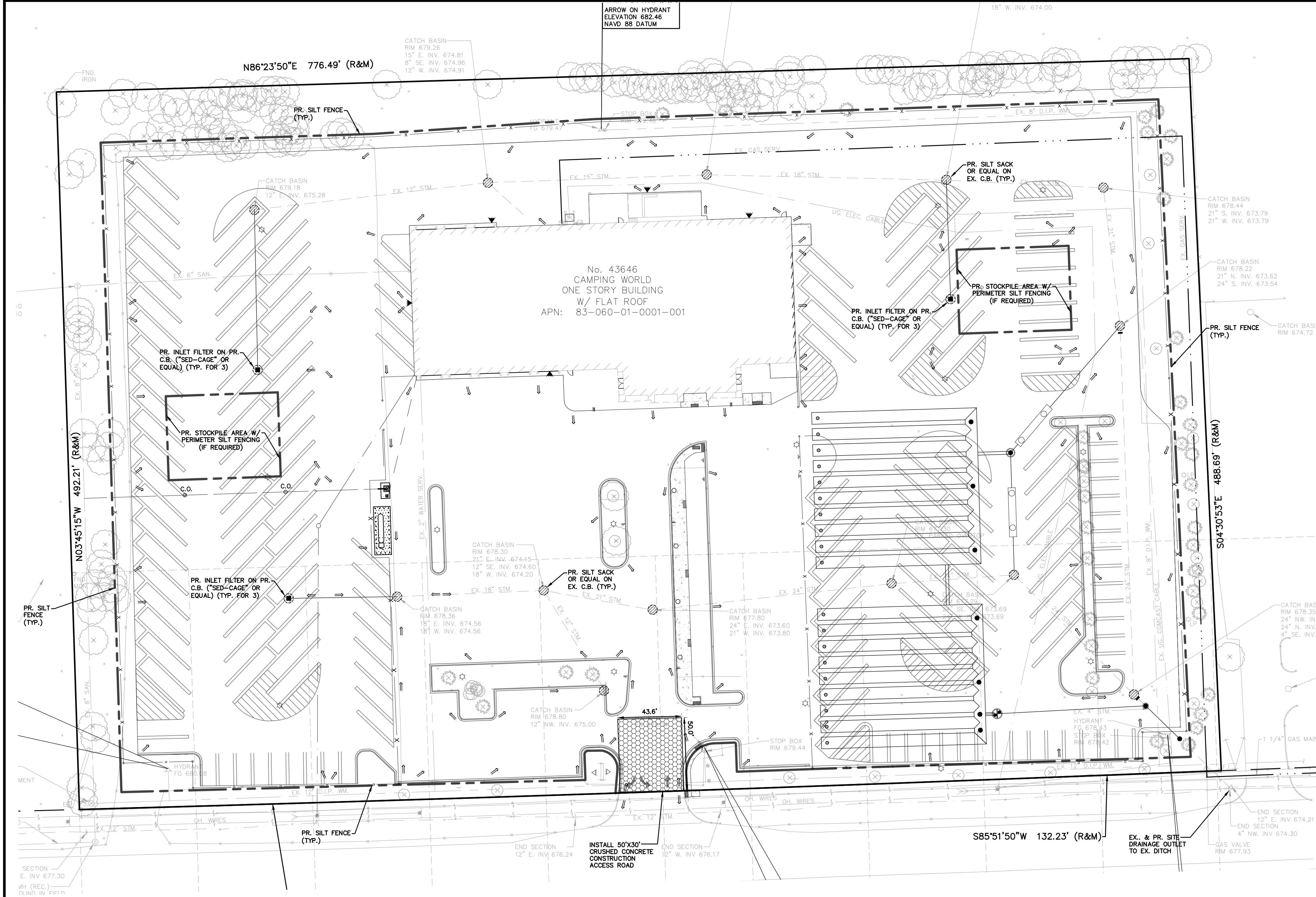
1.85 gpm

0.004 cfs

0.001 cfs

0.207 cfs

0.840 cfs



SOIL EROSION CONTROL - SEQUENCE OF OPERATION (NEW CONSTRUCTION)

INSTALL CRUSHED CONCRETE ACCESS DRIVE AND TEMPORARY CULVERTS AT THE SITE ENTRANCE AS INDICATED ON THE PLANS.

INSTALL SILT FENCE OR SIMILAR APPROVED SILT BARRIER ALONG PROPERTY LINES AND AROUND SENSITIVE NATURAL FEATURES AS INDICATED ON THE PLANS.

EXCAVATE A SHALLOW SWALE/DITCH AROUND PERIMETER OF SITE. GRADE THE TEMPORARY SWALE TO AN EXISTING DRAINAGE FACILITY. PLACE OUTLET FILTER IN EXISTING UPSTREAM STORM SEWER FACILITIES.

IF INDICATED ON CONSTRUCTION PLANS, SEDIMENTATION BASINS, DETENTION POND, ETC., SHALL BE CONSTRUCTED PRIOR TO THE INSTALLATION OF ANY OTHER WORK.

STRIP EXISTING TOPSOIL, VEGETATION AND ORGANIC MATTER FROM BUILDING PAD AND PARKING AREAS. COMMENCE LAND BALANCE AND MASS GRADING OPERATIONS. MAINTAIN A MINIMUM BUFFER OF 15' OF EXISTING VEGETATION WHEREVER POSSIBLE AROUND SITE PERIMETER. STOCK PILES SHOULD BE LOCATED AWAY FROM EXISTING DRAINAGE FACILITIES.

EXCAVATE AND INSTALL UNDERGROUND UTILITIES. INSTALL PEASTONE INLET FILTERS AROUND ALL NEW STORM SEWER FACILITIES AS INDICATED ON THE PLANS. EXISTING AND PROPOSED STORM SEWER FACILITIES SHALL BE PROTECTED FROM EROSION AND SEDIMENT INFILTRATION AT ALL TIMES.

COMMENCE FINAL GRADING AND TRIMMING OPERATIONS. PREPARE SUBGRADE FOR INSTALLATION OF PROPOSED PAVEMENT.

SEED AND MULCH ALL DISTURBED SITE AREAS AND INSTALLED SITE LANDSCAPING.

REMOVE CONSTRUCTION DEBRIS AND JET VAC NEWLY INSTALLED STORM SEWER SYSTEM AS REQUIRED BY THE MUNICIPALITY.

REMOVE ALL REMAINING TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE PERMANENT MEASURES ARE ESTABLISHED.

WHENEVER POSSIBLE, THE SITE SHALL BE GRADED TO WITHIN SIX INCHES (6") OF THE PROPOSED FINISH GRADE PRIOR TO INSTALLATION OF UNDERGROUND FACILITIES.

STAGING OF PROPOSED WORK SHALL BE COMPLETED BY THE CONTRACTOR AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.

| CONSTRUCTION SEQUENCE / TIMING SCHEDULE | | |
|---|----------------|--|
| 1. INSTALL PERIMETER FILTER FABRIC FENCING AND STONE FILTER WHERE REQUIRED. | JULY 2020 | |
| 2. MASS GRADE SITE. | JULY 2020 | |
| 3. COMMENCE UNDERGROUND UTILITY WORK. | JULY 2020 | |
| 4. INSTALL INLET FILTERS ON EXISTING/PROPOSED DRAINAGE STRUCTURES. | JULY 2020 | |
| 5. FILL IN SEDIMENTATION TRAPS AND PAVE SITE. | SEPTEMBER 2020 | |
| 6. COMPLETE ALL BUILDINGS AND LANDSCAPE ACTIVITY. | OCTOBER 2020 | |
| 7. JET VAC NEW STORM SEWER SYSTEM AS REQUIRED. | OCTOBER 2020 | |
| 8. REMOVE ALL TEMPORARY SOIL EROSION MEASURES. | NOVEMBER 2020 | |

SOIL EROSION CONTROL

CUTTING, FILLING AND GRADING SHALL BE MINIMIZED AND THE NATURAL TOPOGRAPHY OF THE SITE SHALL BE PRESERVED TO THE MAXIMUM POSSIBLE EXTENT, EXCEPT WHERE SPECIFIC FINDINGS DEMONSTRATE THAT MAJOR ALTERATIONS WILL STILL MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE.

DEVELOPMENT SHALL BE STAGED TO KEEP THE EXPOSED AREAS OF SOIL AS SMALL AS PRACTICABLE.

SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED BETWEEN THE DISTURBED AREA AND ANY WATERCOURSES, INCLUDING RIVERS, STREAMS, CREEKS, LAKES, PONDS AND OTHER WATERCOURSES; WETLANDS; OR ROADWAYS ON OR NEAR THE SITE.

SEDIMENT RESULTING FROM ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE THAT WATER LEAVES THE SITE.

TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF WATER AROUND, THROUGH, OR AWAY FROM THE SITE SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.

TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT SOIL EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED. ALL SITES SHALL BE STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES.

IF LAKES, PONDS, CREEKS, STREAMS, OR WETLANDS ARE LOCATED ON OR NEAR THE SITE, EROSION CONTROL MEASURES WHICH DIVERT RUNOFF AND TRAP SEDIMENT MUST BE PROVIDED AT STRATEGIC LOCATIONS. STRAW BALE BERMS MAY BE USED AS TEMPORARY STORMWATER DIVERSION STRUCTURES, BUT WILL NOT BE CONSIDERED SUFFICIENT FOR TRAPPING SEDIMENT. THE USE OF SEDIMENT BASINS, FILTER FABRIC, VEGETATED BUFFER STRIPS, AND ROCK FILTERS IN LIEU OF STRAW BALE BERMS SHALL BE STRONGLY ENCOURAGED. OTHER MEASURES MAY BE REQUIRED IF REASONABLY DETERMINED TO BE NECESSARY TO PROTECT A WATERCOURSE OR WETLAND.

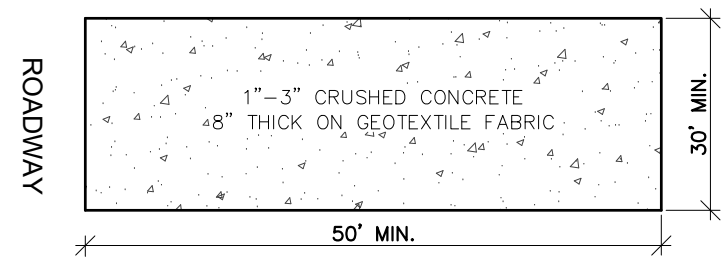
WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED.

PERMANENT EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 15 (FIFTEEN) CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

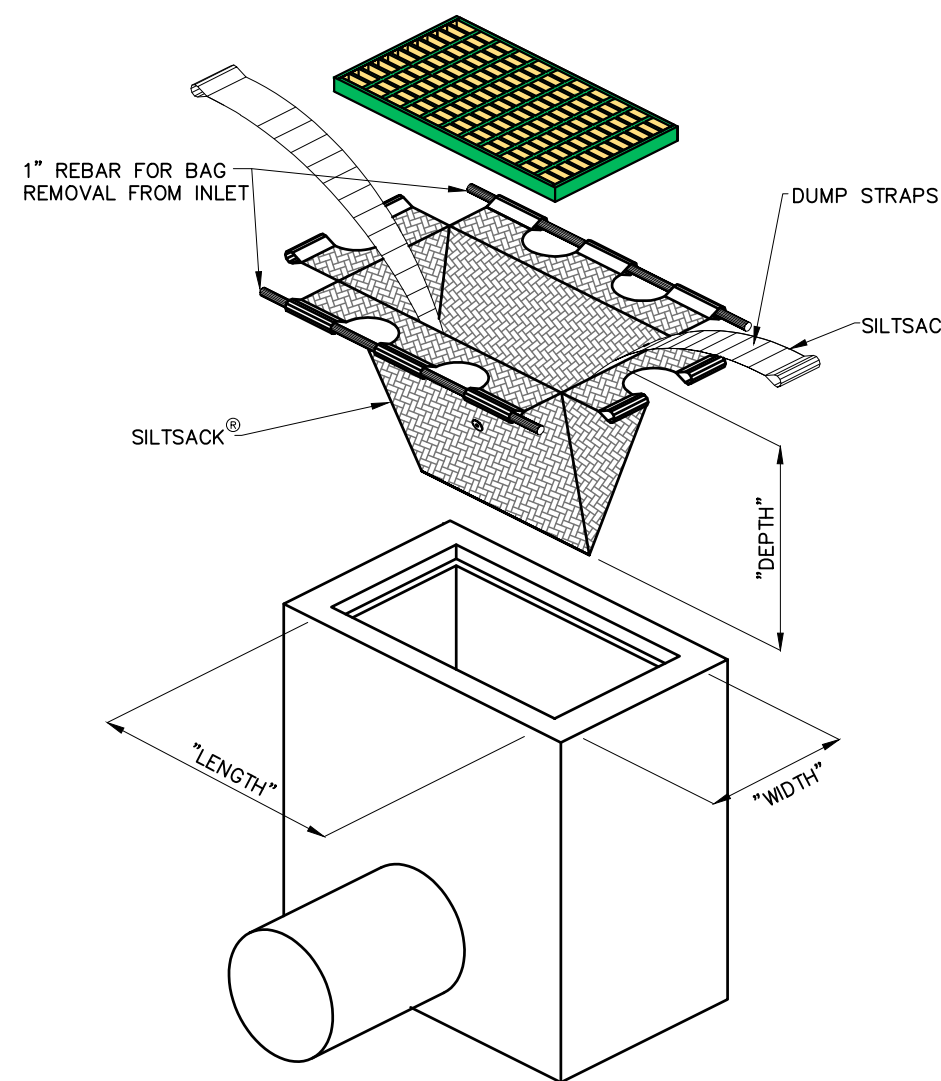
VEGETATED BUFFER STRIPS SHALL BE CREATED OR RETAINED ALONG THE EDGES OF ALL LAKES, PONDS, CREEKS, STREAMS, OTHER WATERCOURSES, OR WETLANDS.

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL RECEIVE REGULAR MAINTENANCE TO ASSURE PROPER FUNCTIONING.

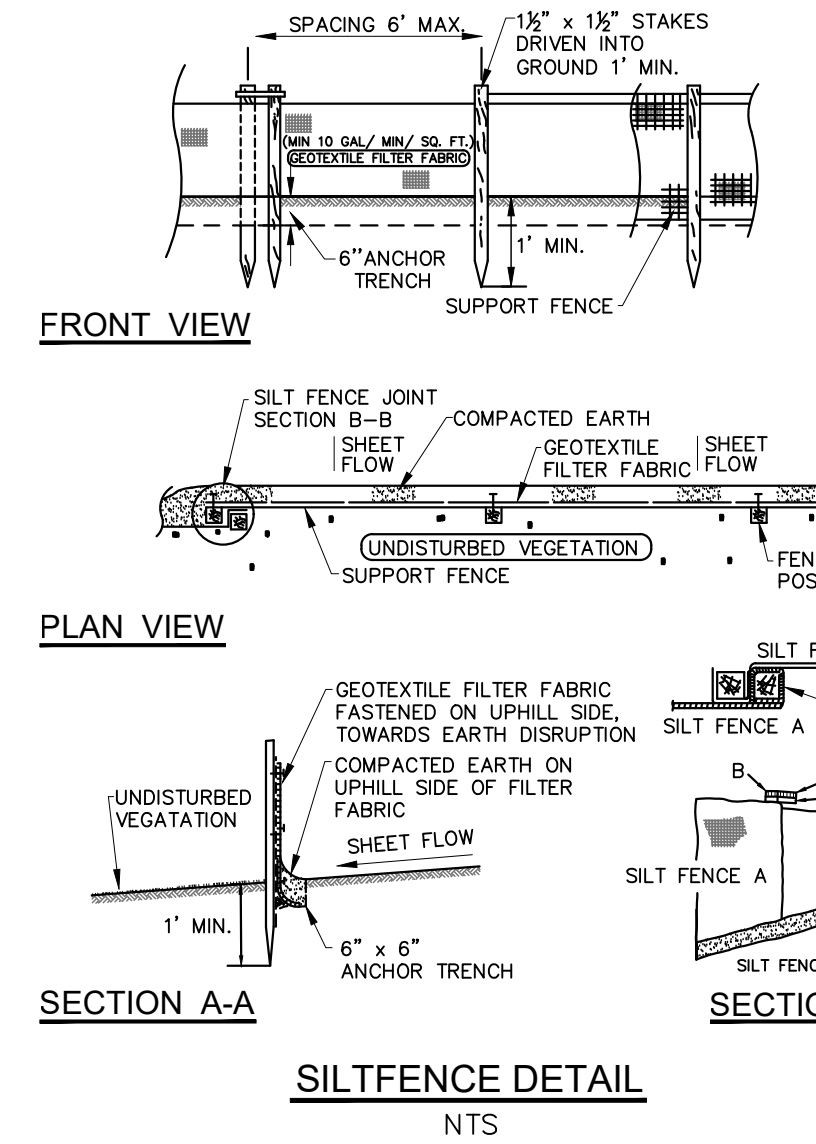
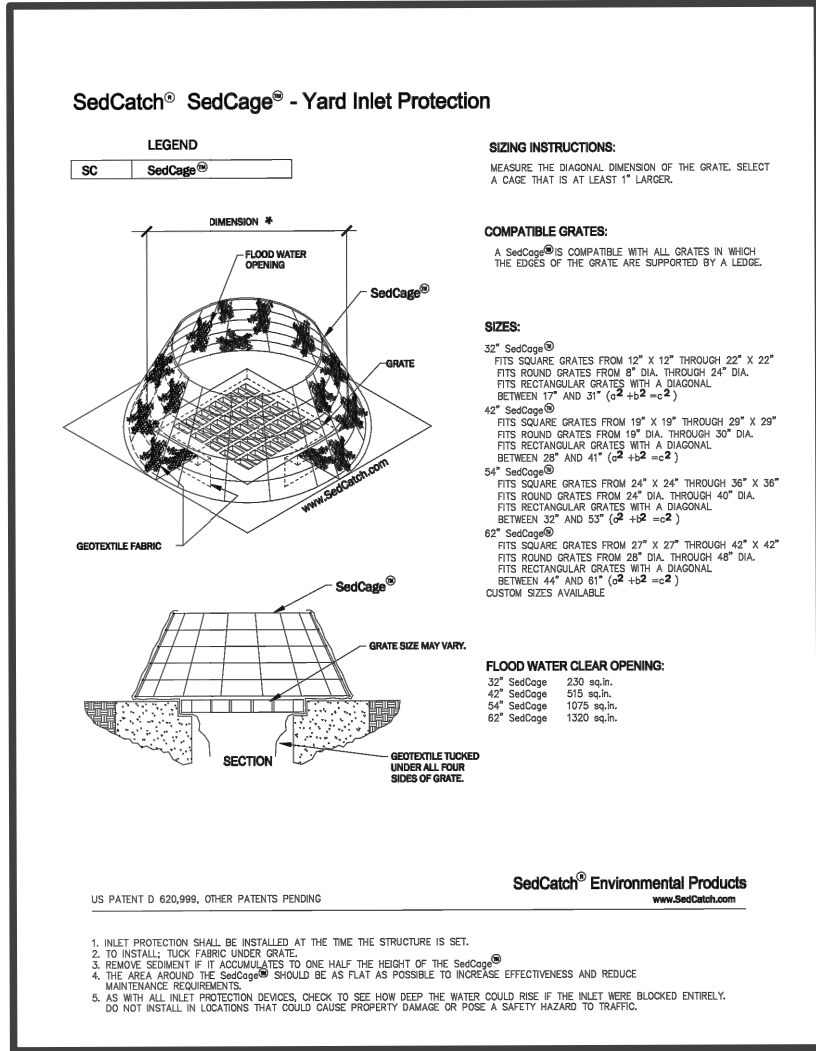
ALL GRADING PLANS AND SPECIFICATIONS, INCLUDING EXTENSIONS OF PREVIOUSLY APPROVED PLANS, SHALL INCLUDE PROVISIONS FOR EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH, BUT NOT LIMITED TO, THE STANDARDS CONTAINED IN THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", PUBLISHED BY THE WAYNE COUNTY SOIL CONSERVATION DISTRICT.



TEMPORARY CRUSHED CONCRETE CONSTRUCTION ACCESS ROAD



SILT SACK FILTER DETAIL



NOTES

REFER TO THE WAYNE COUNTY SOIL EROSION AND SEDIMENTATION CONTROL DETAIL SHEET FOR ALL ADDITIONAL NOTES & DETAILS (TYP)

A DISTANCE OF 1748 FT TO THE NEAREST BODY OF WATER BELLEVILLE LAKE.

THE TOTAL AREA OF EARTH DISRUPTION IS 7.529 ACRES.

THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE CONTRACTOR

A SOIL EROSION PERMIT IS REQUIRED FROM THE WAYNE COUNTY.

ALL S.E.S.C. MEASURES SHALL COMPLY WITH APPLICABLE VAN BUREN TOWNSHIP AND WAYNE COUNTY REQUIREMENTS.

SOIL DATA

THIS SITE CONSISTS OF B1A (Blount loam, Erie- Huron lake loam, 0 to 2 percent slopes), MeA (Metamora Sandy Loam, 0 to 3 percent slopes) & Pe (Pewamo loam).

BASED ON DATA PROVIDED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE.

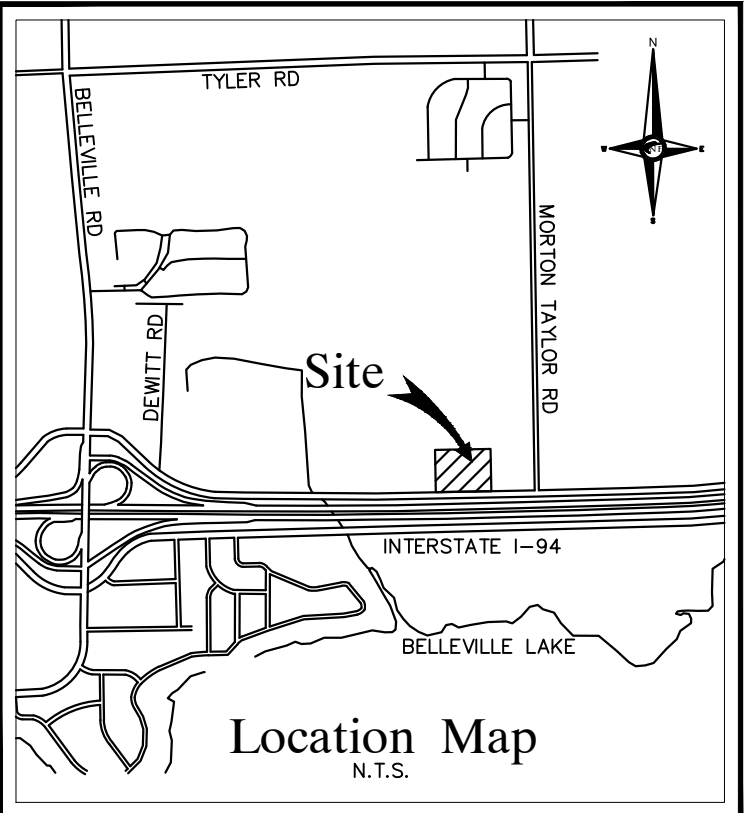
ESTIMATED QUANTITIES

NOTE: THE BELOW QUANTITIES ARE FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM HIS OWN QUANTITY TAKEOFFS & EARTHWORK CALCULATIONS PRIOR TO BIDDING.

SOIL EROSION

| DESCRIPTION | QUANTITY | UNITS |
|---------------------------------|----------|-------|
| SILT FABRIC FENCING | 2400 | L.F. |
| INLET FILTER (SEDCAGE OR EQUAL) | 3 | EA. |
| SILT SACK OR EQUAL | 12 | EA. |
| CONSTRUCTION ACCESS ROAD | 242 | S.Y. |

| LEGEND | | |
|--------|---|--|
| --- | INDICATES LIMITS OF SILT FABRIC FENCE | |
| --- | INDICATES LIMITS OF DRAINAGE DISTRICT AREA | |
| --- | INDICATES LIMITS OF SOIL DISRUPTION | |
| --- | INDICATES LOW POINT INLET FILTER ON PROPOSED DRAINAGE STRUCTURE | |
| --- | INDICATES SILT SACK OR EQUAL ON EXISTING DRAINAGE STRUCTURE | |



50th Anniversary
1969 - 2019

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WWW.NOWAKFRAUS.COM

SEAL
NOT FOR CONSTRUCTION

PAUL TULIKANGAS
ENGINEER
NO. 057929
LICENSED PROFESSIONAL ENGINEER

PROJECT
Camping World - Belleville

CLIENT
Camping World
43646 N. Interstate 94
Service Drive

CONTACT
Derrick Matter, Director of
Construction & Facilities

250 Parkway Dr, Suite 270
Lincolnshire, Illinois 60069

Phone: (847) 229-6429
Email: Derrick.Matter@Ganderoutdoors.com

PROJECT LOCATION
Part of the Southeast 1/4
of Section 15
Town 3 South, Range 8 East
Van Buren Twp,
Wayne County, Michigan

SHEET
Soil Erosion and
Sedimentation Control
Plan

811
Know what's below
Call before you dig.

| DATE | ISSUED/REVISED |
|------------|----------------------------------|
| 04-08-2019 | WAYNE COUNTY SUBMITTAL |
| 08-27-2019 | REVISED SITE |
| 09-13-2019 | REVISED SITE |
| 09-25-2019 | PRELIMINARY S.P. - OWNER REVIEW |
| 10-03-2019 | REVISED PER OWNER |
| 10-17-2019 | OWNER REVIEW |
| 11-01-2019 | REVISED PER OWNER |
| 11-11-2019 | SUBMITTED FOR SITE PLAN APPROVAL |
| 01-23-2020 | SUBMITTED FOR SITE PLAN APPROVAL |
| 03-09-2020 | REVISED FOR SITE PLAN APPROVAL |
| 03-31-2020 | REVISED FOR SITE PLAN APPROVAL |
| 05-29-2020 | REVISED FOR SITE PLAN APPROVAL |

DRAWN BY:
G. Viju

DESIGNED BY:
P. Tulikangas

APPROVED BY:
B. Buchholz

DATE:
2-20-2019

SCALE: 1" = 40'

NFE JOB NO. **K794** SHEET NO. **C5**

